



# V I L L E B O I S

## ARCHITECTURAL PATTERN BOOK



Add amended date and city case file number upon adoption

SAP SOUTH - VOLUME III  
AMENDED JANUARY 28, 2013, CITY CASE FILE DB12-065

ORIGINAL CITY CASE FILE NO. DB-2005-08-00091(A), APPROVED OCTOBER 12, 2005



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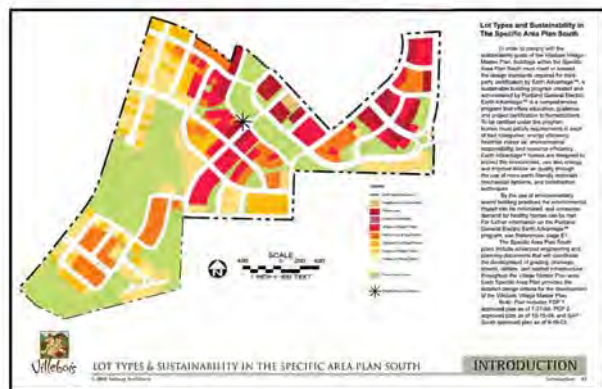




# How to Use This Architectural Pattern Book



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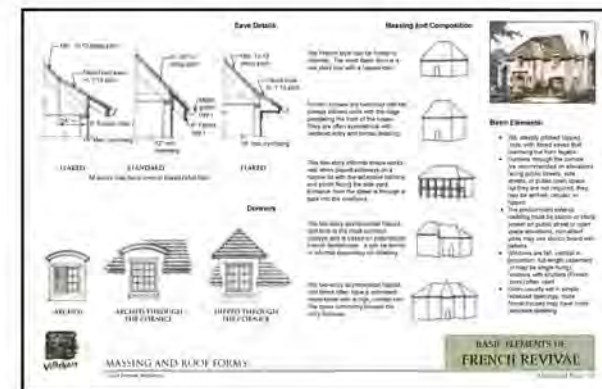


1. Review the Prologue on Page A3 which introduces the Villebois Village Master Plan, describes the purpose and various sections of the Architectural Pattern Book, and reiterates the Design Principles and Standards applying to the Village Zone.
2. Review the Introduction on Page A4 Guiding Principles of the Villebois Village Master Plan and Location of Specific Area Plan South. This is a synopsis of the three guiding principles of connectivity, diversity, and sustainability as they relate to buildings.
3. See Lot Types & Sustainability in the Specific Area Plan South on Page A5 to review the building sustainability issues and the Portland General Electric program Earth Advantage™ program. Verify the location and relationship of lot types on the Specific Area Plan South map.
4. Review Land Use Patterns & Lot Diagrams on Pages B1-B6 for descriptions of specific Land Use Types. The Lot Diagrams show ranges of the lot sizes for the specific Land Use Types in Villebois. They also establish the guidelines for placing the building on the lot and defining the neighborhood character. The Lot Diagrams show the relationship of indoor space to outdoor space, and private outdoor space to semi-private and public outdoor space. Review where setbacks are measured to and how garages may be accessed. Review elevation delineating placement of buildings on lots with significant slopes.
5. Review Pages C1-C2 with the Appropriate Architectural Styles for the architectural precedent and / or historic relevance of each style, and their responses to the regional and climatic conditions affecting the Willamette Valley.

6. Review Pages C3-C20 for the Basic Elements of Architectural Styles for each style: French Revival, American Classic, English Revival, and American Modern. The Basic Elements include the elements, massing, and façade composition for each style. Review the massing, composition, and roof forms; the doors, windows, entrances and outdoor spaces, porches, chimneys, materials, colors, light fixtures, downspouts and gutters, and accents for each Architectural Style.
7. Review Page D1 Scale and Proportions - Diversity and Rules of Adjacencies for Specific Land Use Types and the number of Architectural Styles that should be used to achieve the desired diversity. Review Pages D2-D5 for the examples of elevations for each of the four Architectural Styles for the Land Use Type(s) that you are building. The window and door spacing in each style is essential to the composition of the elevations. This is related to the shape and the width of the building. The Architectural Pattern Book addresses the appearance of the house and the yard from the street or from open space. It is important to compose the side walls so the buildings look well proportioned when the sides or rear are exposed to view from any public street, side street, or public open space. Select the Architectural Styles based on the Diversity and Rules of Adjacencies on Page D1.
8. Review the Compliance Checklist on Page F2 to verify adherence to the requirements of the Architectural Pattern Book.
9. Note: Architectural perspective renderings in Section C only illustrate examples of basic styles.



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## INTRODUCTION



**Architectural Pattern Book** The Architectural Pattern Book was developed to direct the development of neighborhoods and houses consistent with the original vision described in the Villebois Village Master Plan. The Architectural Pattern Book includes the regulations to help builders achieve the objectives of the Master Plan, and to adhere to the Design Principles and Design Standards in the V Zone. This Architectural Pattern Book applies to all buildings within the Specific Area Plan South (SAP South). The Architectural Pattern Book delineates the area and the land use types included in SAP South and their location on the Master Plan. (See Pages A4 and A5).

The Land Use Patterns section describes the various land use types and includes lot diagrams for each with lot sizes, definitions of setback requirements, placement of buildings on the lots, and all other applicable requirements.

The Architectural Styles section illustrates examples of a range of appropriate architectural styles and how they would be applied to specific land use types including the definition of the elements, massing, and facade composition for each style. The Architectural Pattern Book contains images of specific buildings, which were chosen as good examples of the various housing types suitable to achieve the required diversity for Villebois; these buildings were not all designed by the author, and the images may have been revised from the original examples to adhere to the Village Zone Design Standards.

By following the design regulations in the Architectural Pattern Book, builders are directed toward compliance with the Design Principles and Design Standards applying to the Village Zone. A Compliance Checklist has been included on page F2 to assist builders and city officials in the determination of a project's adherence to the requirements of the Architectural Pattern Book.

**Conformance** To verify compliance with the Design Standards of the Village Zone in addition to the Pattern Book, all single family and duplex dwellings and row houses within the Village Zone shall be reviewed by the Planning Director through an administrative review process; all multi-family dwellings shall be reviewed for compliance by the Development Review Board.

**Compliance** In the application of these Standards, all construction shall comply with the Oregon State Building Code and all other applicable governmental regulations. In the case of all materials and methods mentioned here, governmental regulations shall take precedence.

#### Design Principles Applying to the Village Zone



Villebois

A. The following Design Principles reflect the fundamental concepts, and support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities of the built environment within the Village Zone.

1. The design of landscape, streets, public places and buildings shall create a place of distinct character.
2. The landscape, streets, public places and buildings within individual development projects shall be considered related and connected components of the Villebois Village Master Plan.
3. The design of buildings shall functionally relate to adjacent open space, gateways, street orientation, and other features as shown in the Villebois Village Master Plan.
4. The design of buildings and landscape shall functionally relate to sunlight, climate, and topography in a way that acknowledges these conditions as particular to the Willamette Valley.
5. The design of buildings shall incorporate regional architectural character and regional building practices.
6. The design of buildings shall include architectural diversity and variety in its built form.
7. The design of buildings shall contribute to the vitality of the street environment through incorporation of storefronts, windows, and entrances facing the sidewalk.
8. The design of streets and public spaces shall provide for and promote pedestrian safety, connectivity and activity.
9. The design of buildings and landscape shall minimize the visual impact of, and screen views of off-street parking from streets.
10. The design of exterior lighting shall minimize off-site impacts, yet enable functionality.

#### Design Standards Applying to the Village Zone

A. The following Design Standards implement the Design Principles found in the section above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village Zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village Zone shall incorporate the following:

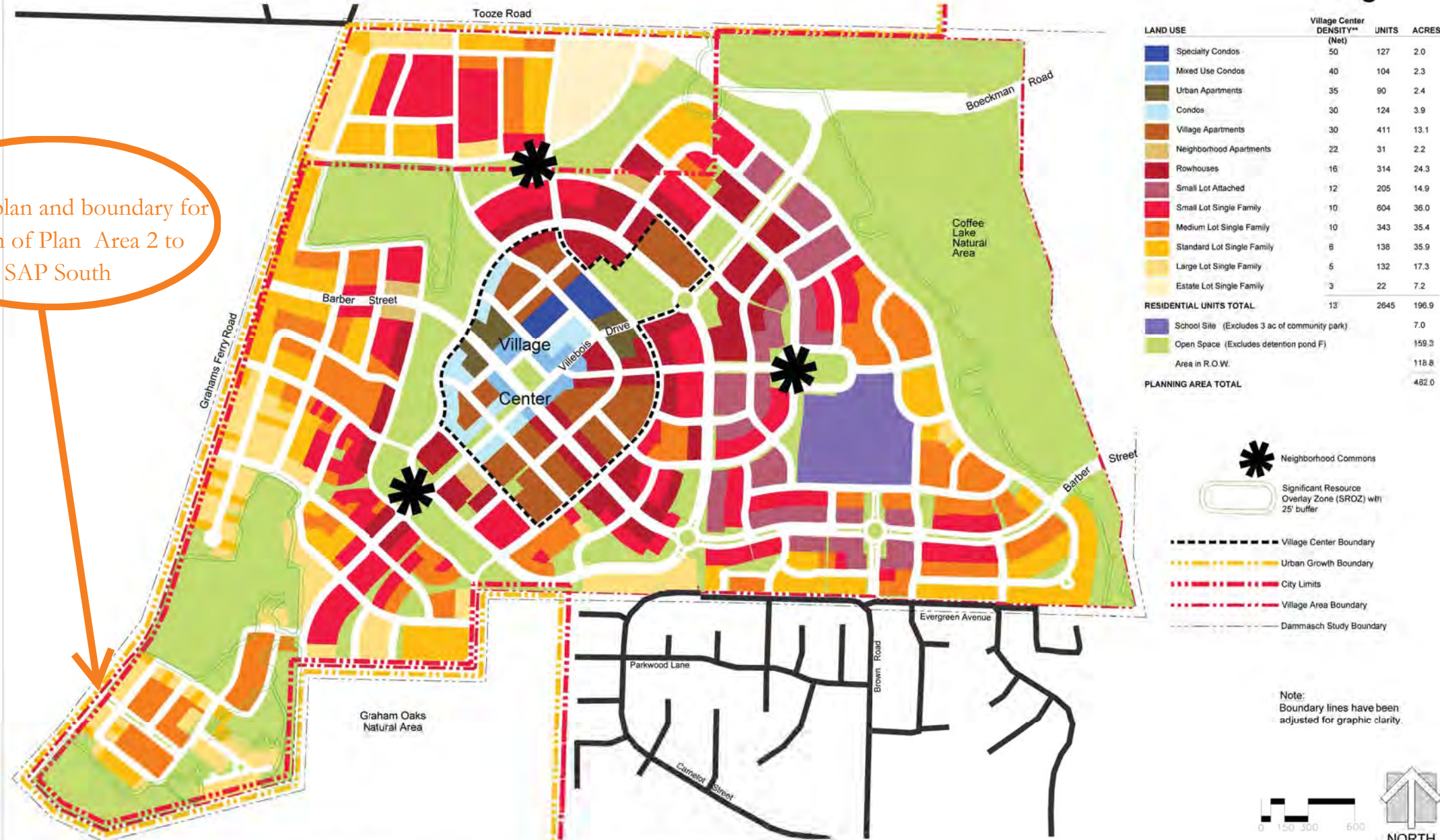
1. General Provisions:
  - a. Flag lots are not permitted.
  - b. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.
  - c. Village Center lots may have multiple front lot lines.
  - d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.
  - e. Neighborhood Centers shall only be located within a Neighborhood Commons.
  - f. Commercial Recreation facilities shall be compatible with surrounding residential uses.

- g. Convenience Stores within the Village Zone shall not exceed 4,999 square feet, and shall provide pedestrian access.
- h. Grocery Stores within the Village Zone shall not be less than 5,000 sq. ft., nor more than 19,999 sq. ft. in size.
- i. A Specialty Grocery Store shall not be less than 20,000 sq. ft. nor more than 40,000 sq. ft., and may stand alone or as a use within a mixed-use building. square feet in size.
2. Building and site design shall include:
  - a. Proportions and massing of architectural elements consistent with those established in an approved Architectural Pattern Book or Village Center Design.
  - b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book, or approved Village Center Design
  - c. Protective overhangs or recesses at windows and doors.
  - d. Raised stoops, terraces or porches at single-family dwellings.
  - e. Exposed gutters, scuppers, and downspouts or approved equivalent.
  - f. The protection of existing significant trees as identified in an approved Community Elements Book.
  - g. A landscape plan in compliance with Sections 4.125(.07) and (.11) of the Village Zone.
  - h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.
  - i. Building elevations of detached buildings shall not repeat an elevation found on buildings of adjacent lots.
  - j. A porch shall have no more than three walls.
  - k. A garage shall provide enclosure for the storage of no more than three motor vehicles, as described in the definition of parking space. (In the Village Zone Ordinance)
3. Lighting and site furnishings shall be in compliance with the approved Architectural Pattern Book, Community Elements Book, or approved Village Center Design.
4. Building systems, as noted in Tables V-3 and V-4 "Permitted Materials and Configurations", shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The Portland General Electric Earth Advantage™ or the LEED Building Certification Program of the U.S. Green Building Council may be used as guides in this regard.

# PROLOGUE



Figure 1



Updated plan and boundary for addition of Plan Area 2 to SAP South

NOTES: The Villebois Village Master Plan shall comply with the City of Wilsonville SROZ regulations. Encroachments within the SROZ are shown for illustrative purposes only, and will be reviewed for compliance or exemption as more detailed information is provided that will affect the SROZ areas. Adjustments in plan, street alignments, and intersections as well as rainwater facilities and pathways will be made to comply with SROZ regulations.

\*\* An average village density (net) is noted for informational purposes only. The net area used to calculate densities excludes right-of-way and park/open space areas.

### The Villebois Village Master Plan

The Villebois Village Master Plan lays the foundation for an innovative mixed-use community. The Plan is based on three fundamental, guiding principles:

- *Connectivity* is connections between neighbors, within the village itself, and into other parts of the region and the world. *Connectivity* is accomplished with architectural designs that always put people first and provide a pedestrian scaled environment. Automobile access will be located to the rear of most buildings, and will not disrupt the hierarchal emphasis given to the pedestrian. The facades of all buildings will emphasize the social character of the street and sidewalk.
- *Diversity* means a vibrant choice of housing styles, types and levels of affordability, a healthy mixture of employment opportunities and offices, and a variety of available goods and services. *Diversity* is achieved by integrating a variety of housing, commercial options and architectural styles throughout the community. This assures that Villebois will be a vibrant, economically and socially diverse addition to the region.
- *Sustainability* refers to the thread of stewardship and viability - social, environmental, and economic - that is woven throughout every aspect of Villebois. It includes efficient design, the protection of natural resources and open space, rainwater management and energy conservation. *Sustainability* is addressed through the use of efficient land planning and energy and resource efficient building designs that shall respond to the environmental qualities of light, climate and topography.

The Villebois Village Master Plan was developed by Costa Pacific Communities with a distinguished team of professionals:

Iverson Architects (Design Team Leader), Alpha Engineering (Technical Team Leader), Fletcher Farr Ayotte (Land Planning / Village Center Design), Walker Macy (Land Planning / Landscape Architecture), Western Planning Associates, (Land Planning), Pacific Habitat Services (Environmental Consulting), SGW Creative (Advertising and Public Relations), Market Perspectives (Market Research), Kittelson & Associates (Traffic Engineering), Ramis Crew Corrigan and Bachrach (Land Use Attorney)



## GUIDING PRINCIPLES OF THE VILLAGE MASTER PLAN

## INTRODUCTION



## Lot Types and Sustainability in The Specific Area Plan South

In order to comply with the sustainability goals of the Villebois Village Master Plan, buildings within the Specific Area Plan South must meet or exceed the design standards required for third-party certification by Earth Advantage™, a sustainable building program created and administered by Portland General Electric. Earth Advantage™ is a comprehensive program that offers education, guidance, and project certification to homebuilders. To be certified under the program, homes must satisfy requirements in each of four categories: energy efficiency, healthier indoor air, environmental responsibility, and resource efficiency. Earth Advantage™ homes are designed to protect the environment, use less energy, and improve indoor air quality through the use of more earth-friendly materials, mechanical systems, and construction techniques.

By the use of environmentally sound building practices the environmental impact can be minimized, and consumer demand for healthy homes can be met. For further information on the Portland General Electric Earth Advantage™ program, see References, page E1.

The Specific Area Plan South plans include advanced engineering and planning documents that will coordinate the development of grading, drainage, streets, utilities, and related infrastructure throughout the Village Master Plan area. Each Specific Area Plan provides the detailed design criteria for the development of the Villebois Village Master Plan.

Note: Plan includes PDP 1 approved plan as of 7-21-04, PDP 2 approved plan as of 10-15-04, and SAP South approved plan as of 9-19-03.

Updated plan and boundary for addition of Plan Area 2 to SAP South



### LEGEND

- SAP South Boundary
- Neighborhood Apartments
- Rowhouses
- Small Lot Attached
- Small Lot Single Family
- Medium Lot Single Family
- Standard Lot Single Family
- Large Lot Single Family
- Estate Lot Single Family
- Parks/Open Space
- Neighborhood Commons

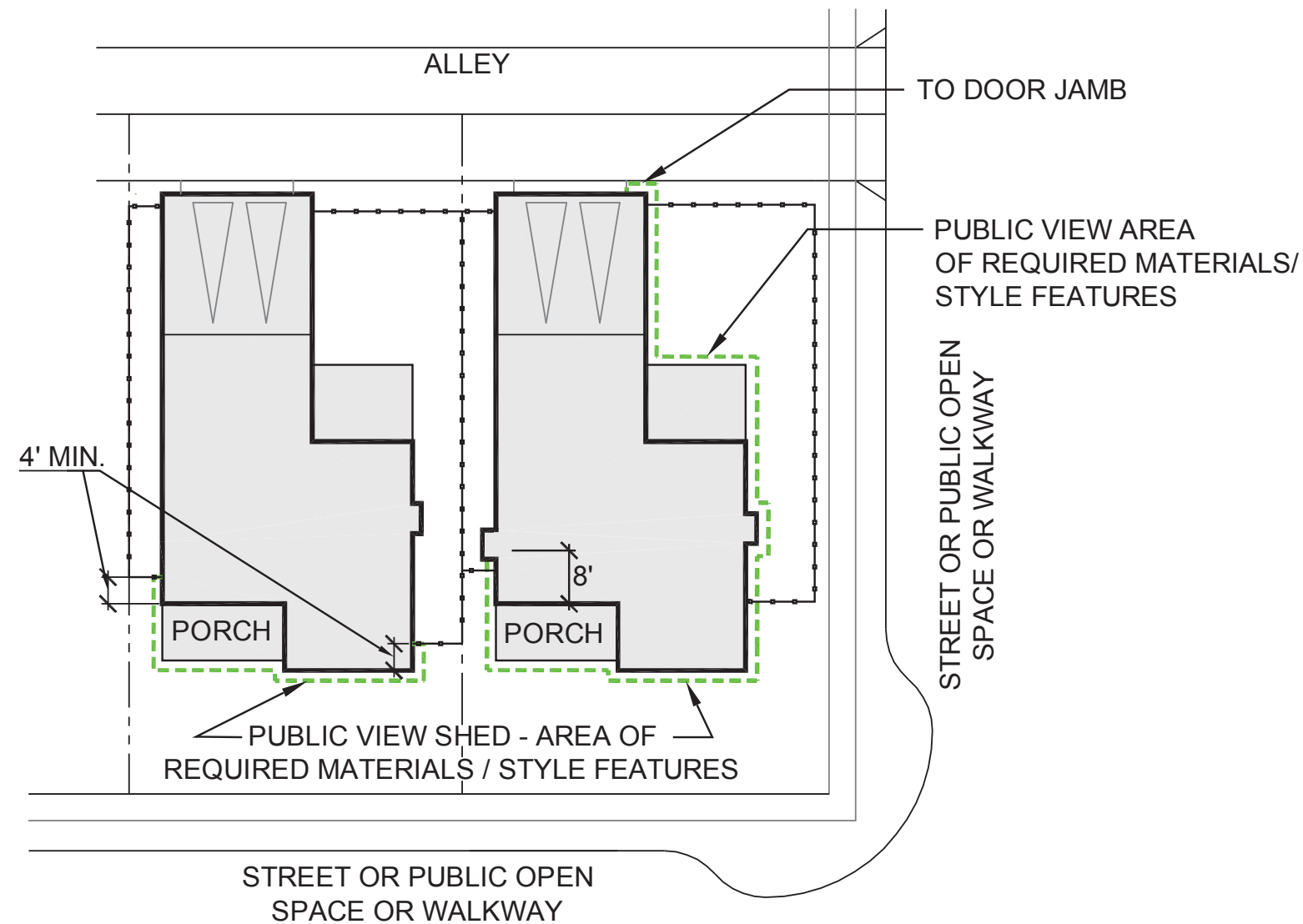


## LOT TYPES & SUSTAINABILITY IN THE SPECIFIC AREA PLAN SOUTH

## INTRODUCTION



## VIEW SHED APPLICATION FOR PUBLIC VS. PRIVATE SPACE



## LOT DIAGRAM NOTES

1. FOR BUILDING SETBACK AND FENCE REQUIREMENTS REFER TO WILSONVILLE VILLAGE ZONE AND THE VILLEBOIS MASTER FENCING PROGRAM.
2. LOTS WILL GENERALLY FOLLOW THESE DIAGRAMS, BUT DUE TO TOPOGRAPHY AND ROAD ALIGNMENTS, LOTS MAY VARY TO RESPOND TO BLOCK SHAPES. THE MINIMUM LOT SIZE MUST FIT WITHIN IRREGULAR SHAPED LOTS BUT THE OVERALL DIMENSIONS MAY BE LESS OR MORE THAN THAT SPECIFIED.
3. PIE-SHAPED LOTS OR LOTS WITH SIGNIFICANT TREES OR GRADE BANKS AT FRONTAGE HAVE NO MAXIMUM FRONT SETBACK.
4. THE LOT DIAGRAMS DO NOT REFLECT ANY REQUIRED MIX OF FLOORPLAN SHAPES OR ADJACENCIES, NOR ANY QUANTITY OF ATTACHED OR DETACHED GARAGES.
5. WHERE A LARGE, STANDARD, OR MEDIUM LOT OCCURS AS A DOUBLE-FRONTAGE LOT, GARAGE ACCESS SHALL BE TAKEN FROM A LOCAL RESIDENTIAL STREET. THE LOT DEPTH MAY EXCEED THAT INDICATED WITHIN THE SUBJECT DIAGRAM.
6. COMMUNITY HOUSING LOTS MAY BE EXEMPTED BY THE PLANNING DIRECTOR FROM ADHERENCE TO THE LOT SIZES AND DIMENSIONS SHOWN HEREIN, IN ORDER TO MEET APPLICABLE STATE AND SERVICE PROVIDER SPECIFICATIONS.
7. ON ALLEY-LOADED PRODUCT, ADJACENT HOUSES/GARAGES MAY NOT HAVE PARKING APRONS
8. MINIMUM FUNCTIONAL PORCH DEPTH IS 6' WITH A MINIMUM OF 36 SQUARE FEET, WITH A MINIMUM OF 4' COVERED DEPTH
9. BUILDING AND FENCE SETBACKS MAY BE MODIFIED BY THE REQUIRED VISION CLEARANCE AT INTERSECTIONS AND DRIVEWAYS. REFER TO V ZONE.
10. ENTRANCES, ARCHITECTURAL FEATURES, AND OUTDOOR SPACES THAT HELP ESTABLISH A RELATIONSHIP WITH THE STREET AND PEDESTRIAN MAY EXTEND INTO THE FRONT SETBACK AND ARE ENCOURAGED.
11. ALLEY-LOADED ACCESSORY USES OVER GARAGES MAY ENCROACH 18" INTO THE MINIMUM 3' GARAGE REAR SETBACK.

NOTE: PUBLIC VIEW SHED TO INCLUDE ALL FRONT FACADES, ALL FACADES FACING SIDE STREETS AND THE CONTINUATION OF THIS SIDE FACADE AT THE REAR TO THE GARAGE DOOR JAMB AT AN ALLEY, ALL FACADES FACING PUBLIC OPEN SPACE AND PUBLIC WALKWAYS; AND THE DISTANCE ALONG AN INTERIOR YARD FACADE TO A SIGNIFICANT ARCHITECTURAL FEATURE OR A MINIMUM OF 4' IF THERE IS NO SIGNIFICANT ARCHITECTURAL FEATURE WITHIN THE FIRST 8' OF THE FACADE. WITHIN THE PUBLIC VIEWSHED, THE FACADE WILL INCLUDE STYLE AND MATERIALS FOR THE ARCHITECTURAL STYLE OF THE HOUSE.



Villebois

## LOT DIAGRAM NOTES

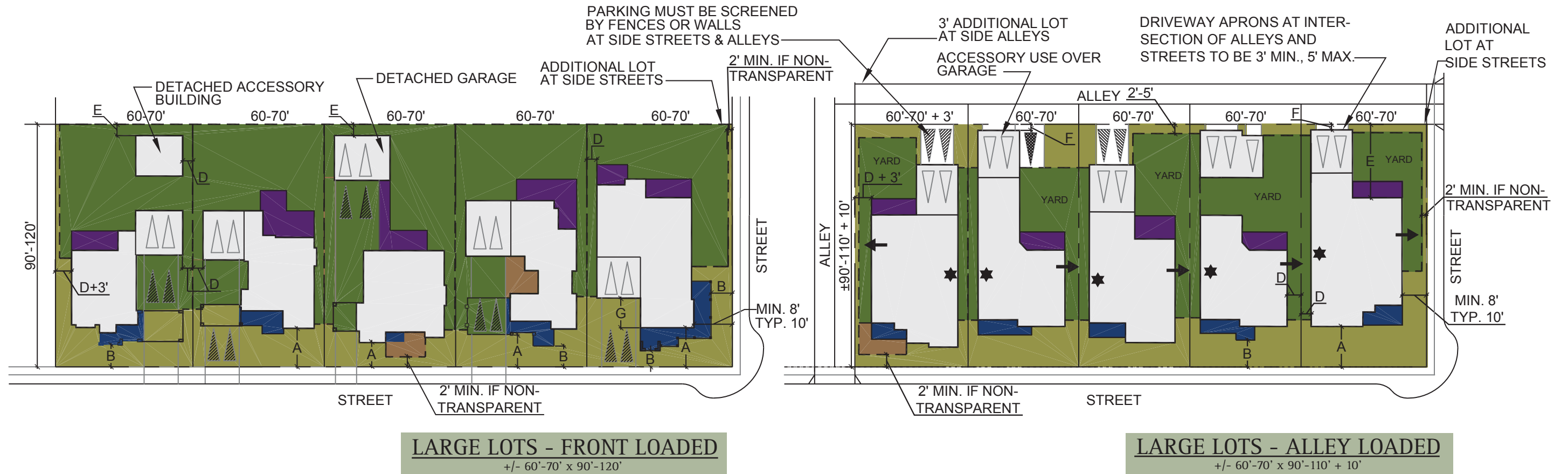
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## LOT DIAGRAMS

Land Use Patterns B1

The *Large Lot* types provide for detached residential buildings on lots ranging from about 5,400 to 8,400 square feet. Off-street parking may be located at the rear of the lot, off of an alley, in attached or detached garages, or it may also be located at the side of the building and accessed from a front or side driveway. The alley-loaded houses typically face the street

but they may also face onto a greenbelt or park with public access. Accessory buildings are allowed, but not required, and they may be detached or attached; they must be of the same exterior design as the primary dwelling unit on the property. Use easements to maximize the usable yard space for each house are allowed but not required.



### LEGEND

#### WHERE SETBACKS ARE MEASURED TO:

- |  |   |
|--|---|
| <p>A FRONT YARD BUILDING SETBACK</p> <p>B SETBACK TO PORCHES, STOOPS, DECKS, CANOPIES, BALCONIES, BAY WINDOWS, CHIMNEYS, AWNINGS, AND ARCHITECTURAL PROJECTIONS</p> <p>C NOT USED</p> <p>D SIDEYARD BUILDING SETBACK</p> | <p>E REAR YARD BUILDING SETBACK</p> <p>F ALLEY-LOADED GARAGE SETBACK</p> <p>G STREET-LOADED GARAGE SETBACK*</p> <p>*NOTE: GARAGE OFFSET FROM FACADE IS 5' MIN., OFFSETS ARE ENCOURAGED TO VARY TO PROVIDE DIVERSITY IN STREET SCENE</p> |
|--|---|

#### PRIVATE OUTDOOR SPACE

- YARDS
- PATIOS
- SEMI-PRIVATE OUTDOOR SPACE**
- PORCHES, STOOPS
- COURTYARDS, TERRACES

#### SEMI-PUBLIC OUTDOOR SPACE

- YARDS, ETC.

#### AUTO PARKING

- GARAGE
- PARKING APRON
- AT ACCESSORY DWELLING WITH NO APRON PARKING

#### PRIVATE SPACE USE EASEMENT - OPTIONAL

- ACTIVE SIDE OF HOUSE WITH USE OF ADJACENT LOT SIDEYARD
- PASSIVE SIDE OF HOUSE WITH HIGH OR OBSCURE GLAZING ONLY, FOR PRIVACY OF ADJACENT YARD



LARGE DETACHED

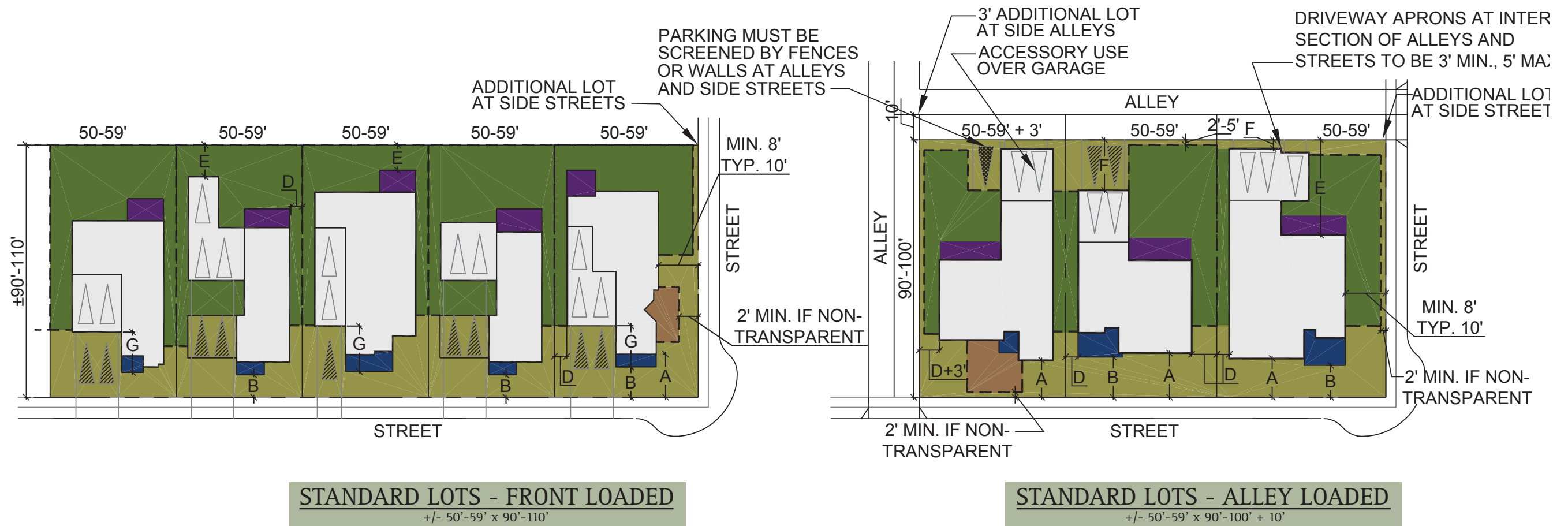
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LOT DIAGRAMS



The *Standard Lot* types provide for detached residential buildings on lots ranging from about 4,500 to 6,500 square feet. Off-street parking may be located at the rear of the lot, off of an alley, in attached or detached garages, or it may also be located at the side of the building and accessed from a front or side driveway. The alley-loaded houses typically face the street

but they may also face onto a greenbelt or park with public access. Accessory buildings are allowed, but not required, and they may be detached or attached; they must be of the same exterior design as the primary dwelling unit on the property. Use easements to maximize the usable yard space for each house are allowed but not required.



**STANDARD LOTS - FRONT LOADED**  
+/- 50'-59' x 90'-110'

**STANDARD LOTS - ALLEY LOADED**  
+/- 50'-59' x 90'-100' + 10'

**LEGEND**

**WHERE SETBACKS ARE MEASURED TO:**

- |   |   |  |                               |
|---|---|--|-------------------------------|
| A | FRONT YARD BUILDING SETBACK   | E  | REAR YARD BUILDING SETBACK    |
| B | SETBACK TO PORCHES, STOOPS, DECKS, CANOPIES, BALCONIES, BAY WINDOWS, CHIMNEYS, AWNINGS, AND ARCHITECTURAL PROJECTIONS | F  | ALLEY-LOADED GARAGE SETBACK   |
| C | NOT USED  | G  | STREET-LOADED GARAGE SETBACK* |
| D | SIDEYARD BUILDING SETBACK   | *NOTE: GARAGE OFFSET FROM FACADE IS 5' MIN., OFFSETS ARE ENCOURAGED TO VARY TO PROVIDE DIVERSITY IN STREET SCENE |                               |

- |                                   |   |   |
|-----------------------------------|---|---|
| <b>PRIVATE OUTDOOR SPACE</b>      | <b>SEMI-PUBLIC OUTDOOR SPACE</b>            | <b>PRIVATE SPACE USE EASEMENT - OPTIONAL</b>  |
| YARDS                             | YARDS, ETC.                                 | ACTIVE SIDE OF HOUSE WITH USE OF ADJACENT LOT SIDEYARD                                |
| PATIOS                            | <b>AUTO PARKING</b>                         | PASSIVE SIDE OF HOUSE WITH HIGH OR OBSCURE GLAZING ONLY, FOR PRIVACY OF ADJACENT YARD |
| <b>SEMI-PRIVATE OUTDOOR SPACE</b> | GARAGE                                      |   |
| PORCHES, STOOPS                   | PARKING APRON                               |   |
| COURTYARDS, TERRACES              | AT ACCESSORY DWELLING WITH NO APRON PARKING |   |



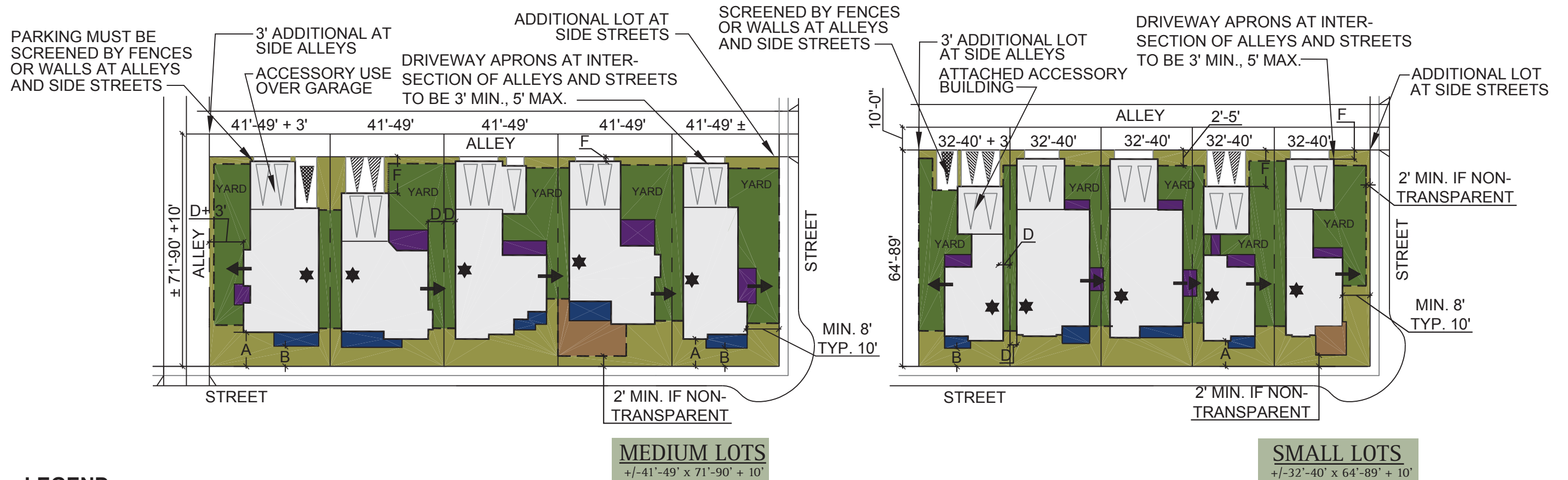
**STANDARD DETACHED**

**LOT DIAGRAMS**



The *Medium Lot* types are designed for mid-block or corner locations. The residential buildings are detached, on lots ranging from 2,900 to 4,500 square feet. The houses typically face the street but may also face onto a greenbelt or park with public access. Off-street parking is located at the rear of the lot, off of an alley, in attached or detached garages. Accessory dwelling units are allowed but not required, and they may be attached or detached; they must be of the same exterior design as the primary dwelling unit on the property.

The *Small Lot* is the smallest of the single family detached Villebois neighborhood lot types. The residential buildings are on lots of approximately 2,000 to 3,600 square feet. The houses typically face the street but may also face onto a greenbelt or park with public access. Off-street parking is located at the rear of the lot, off of an alley, in attached or detached garages. Accessory dwelling units are allowed but not required, and they may be attached or detached; they must be of the same exterior design as the primary dwelling unit on the property. For both Medium and Small Lots, Use Easements to maximize the usable yard space for each house are allowed but not required.



### LEGEND

#### WHERE SETBACKS ARE MEASURED TO:

- |   |   |   |                             |
|---|---|---|-----------------------------|
| A | FRONT YARD BUILDING SETBACK   | C | NOT USED                    |
| B | SETBACK TO PORCHES, STOOPS, DECKS, CANOPIES, BALCONIES, BAY WINDOWS, CHIMNEYS, AWNINGS, AND ARCHITECTURAL PROJECTIONS | D | SIDEYARD BUILDING SETBACK   |
|   |   | E | REAR YARD BUILDING SETBACK  |
|   |   | F | ALLEY-LOADED GARAGE SETBACK |

#### PRIVATE OUTDOOR SPACE

- YARDS
- PATIOS
- SEMI-PRIVATE OUTDOOR SPACE**
- PORCHES, STOOPS
- COURTYARDS, TERRACES

#### SEMI-PUBLIC OUTDOOR SPACE

- YARDS, ETC.

#### AUTO PARKING

- GARAGE
- PARKING APRON
- AT ACCESSORY DWELLING WITH NO APRON PARKING

#### PRIVATE SPACE USE EASEMENT - OPTIONAL

- ACTIVE SIDE OF HOUSE WITH USE OF ADJACENT LOT SIDEYARD
- PASSIVE SIDE OF HOUSE WITH HIGH OR OBSCURE GLAZING ONLY, FOR PRIVACY OF ADJACENT YARD



## MEDIUM & SMALL DETACHED

## LOT DIAGRAMS



The *Small Cottage Detached* is the smallest of the single family deattached Villebois neighborhood lot types. The residential buildings are on lots ranging from 1,850 to about 3,000 square feet. The houses may be attached in pairs just at the garages or along the entire side of the dwellings. (See note below) Off-street parking is located at the rear of the house, off of an alley, in attached or detached garages. The houses typically face the street but may also front onto a public park or greenbelt or be arranged in clusters. When located on a greenbelt, the sidewalk is placed in a public access easement. Use easements to maximize the usable yard space for each house are allowed but not required. Accessory buildings are allowed, and they may be detached or attached; they must be of the same exterior design as the primary dwelling unit on the property.



**SMALL COTTAGE - DETACHED**  
25'-36' x 64'-89' +/- 10'

**LEGEND**

**WHERE SETBACKS ARE MEASURED TO:**

- |   |   |   |                             |
|---|---|---|-----------------------------|
| A | FRONT YARD BUILDING SETBACK   | C | NOT USED                    |
| B | SETBACK TO PORCHES, STOOPS, DECKS, CANOPIES, BALCONIES, BAY WINDOWS, CHIMNEYS, AWNINGS, AND ARCHITECTURAL PROJECTIONS | D | SIDEYARD BUILDING SETBACK   |
|   |   | E | REAR YARD BUILDING SETBACK  |
|   |   | F | ALLEY-LOADED GARAGE SETBACK |




**PRIVATE OUTDOOR SPACE**


-  YARDS
-  PATIOS
- SEMI-PRIVATE OUTDOOR SPACE**
-  PORCHES, STOOPS
-  COURTYARDS, TERRACES


**SEMI-PUBLIC OUTDOOR SPACE**

-  YARDS, ETC.

**AUTO PARKING**

-  GARAGE
-  PARKING APRON
-  AT ACCESSORY DWELLING WITH NO APRON PARKING

 ACTIVE SIDE OF HOUSE WITH USE OF ADJACENT LOT SIDEYARD

 PASSIVE SIDE OF HOUSE WITH HIGH OR OBSCURE GLAZING ONLY, FOR PRIVACY OF ADJACENT YARD (USE MINIMUM SETBACK WHEN PASSIVE IS ADJACENT TO PASSIVE)



**SMALL COTTAGE DETACHED**

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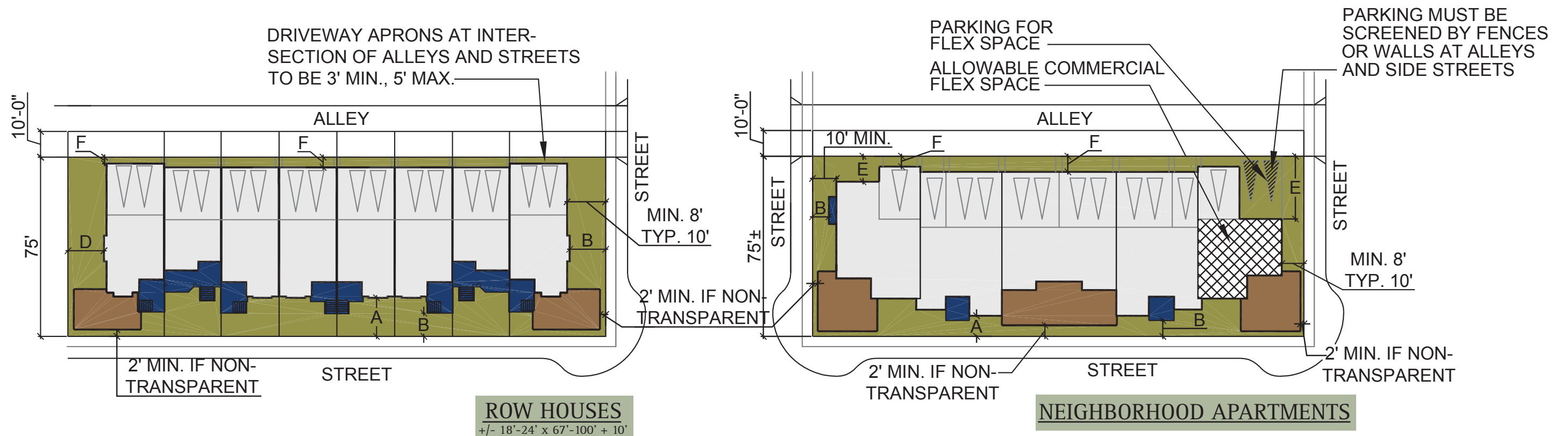
**LOT DIAGRAMS**



The *Row house Lot* land use types are designed for attached residential buildings located as delineated on the Specific Area Plan South. No fewer than two, and no more than ten row houses shall be attached in one composite building. Off-street parking is located at the rear of the lot, off of an alley, in attached or detached garages. The houses typically face the street but they may also face onto a greenbelt or park with public access.

NOTE: ROW HOUSES ARE ALLOWED TO HAVE PARKING APRONS

The *Neighborhood Apartment* land use type is planned to provide residences for multi-family uses in buildings with the scale of large single-family detached houses located at key locations on the Specific Area Plan South. Off-street parking is located at the rear of the lot, off of an alley. A small-scale convenience retail or service commercial use may be located at the corner on the ground floor of the apartment building. Such flex space retail/commercial uses shall only occur at neighborhood commons areas adjacent to public open space and a transit stop.



### LEGEND

#### WHERE SETBACKS ARE MEASURED TO:

- |   |   |   |                             |
|---|---|---|-----------------------------|
| A | FRONT YARD BUILDING SETBACK   | C | NOT USED                    |
| B | SETBACK TO PORCHES, STOOPS, DECKS, CANOPIES, BALCONIES, BAY WINDOWS, CHIMNEYS, AWNINGS, AND ARCHITECTURAL PROJECTIONS | D | SIDEYARD BUILDING SETBACK   |
|   |   | E | REAR YARD BUILDING SETBACK  |
|   |   | F | ALLEY-LOADED GARAGE SETBACK |

#### PRIVATE OUTDOOR SPACE

- YARDS
- PATIOS
- SEMI-PRIVATE OUTDOOR SPACE**
- PORCHES, STOOPS
- COURTYARDS, TERRACES

#### SEMI-PUBLIC OUTDOOR SPACE

- YARDS, ETC.

#### AUTO PARKING

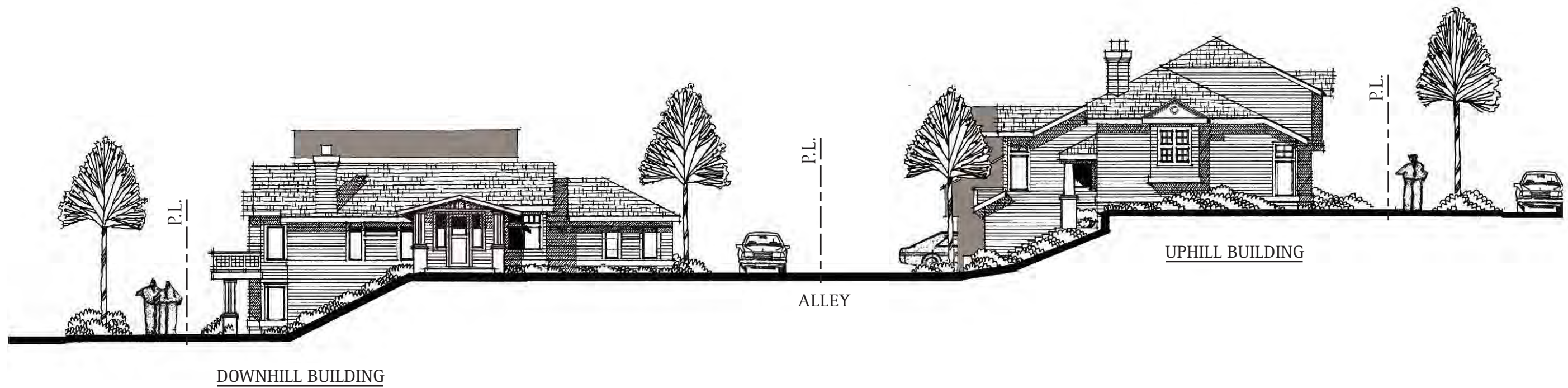
- GARAGE
- PARKING APRON
- AT ACCESSORY DWELLING WITH NO APRON PARKING



## ROW HOUSES AND NEIGHBORHOOD APARTMENTS

## LOT DIAGRAMS





NOTE: BUILDINGS ON SLOPES MUST BE CONFIGURED TO CONFORM TO THE SLOPE. DESIGN CRITERIA FOR BUILDING PLACEMENT AT TYPICAL SLOPE CONDITIONS IS REQUIRED TO BE REFINED AND DETAILED FOR THE PDP SUBMITTAL.



## BUILDING PLACEMENT AT TYPICAL SLOPE CONDITION

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## LOT DIAGRAMS

Land Use Patterns B7





Small / Medium informal house with entry courtyard



Standard / Large formal house with terrace



Neighborhood Apartment with terrace

## FRENCH REVIVAL

The French Revival style is composed of elements from French Renaissance and French Country architecture. French Renaissance architecture was popular in the last half of the 1800's and there are many fine large homes in this style in the Portland metropolitan area. There were also a number of smaller houses in the region that were constructed in the French Country style.



Small / Medium house with full front porch



Standard / Large house with front porch



Neighborhood Apartment with corner store

## AMERICAN CLASSIC

The American Classic style is represented by an impressive collection of houses in the Colonial Revival style in many historic neighborhoods in the Willamette Valley area. This style was popular from 1888 until the mid-1950's, and Oregon architects designed every adaptation of it from the inventive forms of Colonial Revival common in the early phases, to the more conservative styles of the later phase.

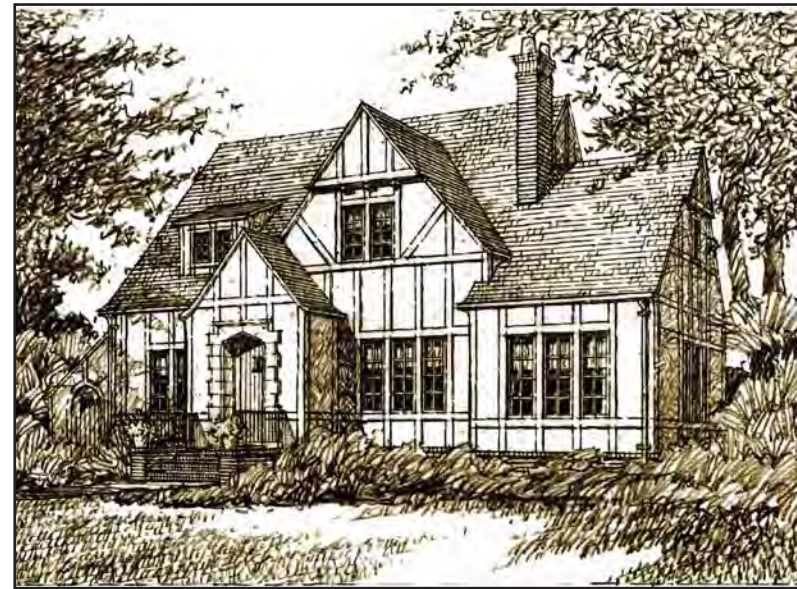
The established architecture of many older northwest Oregon neighborhoods includes a wide variety of styles built in different time periods and with unique regional adaptations of styles as well as housing types. Historically towns and villages had a variety of styles and materials. In recent years this diversity has been lost and will be re-established in Villebois. The Willamette Valley area has a long history of significant residential architecture. Villebois will continue this practice by incorporating architectural styles with proportions, massing, and details that are correct and consistent with regional historical traditions and patterns.







Small / Medium house with entry courtyard



Standard / Large house with stoop & recessed entry



Row houses with stoops and recessed entries

## ENGLISH REVIVAL

The English Revival style is loosely based on a variety of English prototypes, ranging from cottages to large manor houses. There was a wide interest in English architecture in the United States, and from 1900-1935 a distinctive group of houses were constructed in northwest Oregon in the many variations of this style. It enjoyed a resurgence of popularity during the Neoelectic movement of the 1970's and 80's.



Small / Medium Arts & Crafts house with full front porch



Standard / Large Arts & Crafts house with porch and balconies



Modernistic Row houses with entry courtyards and porches

## AMERICAN MODERN

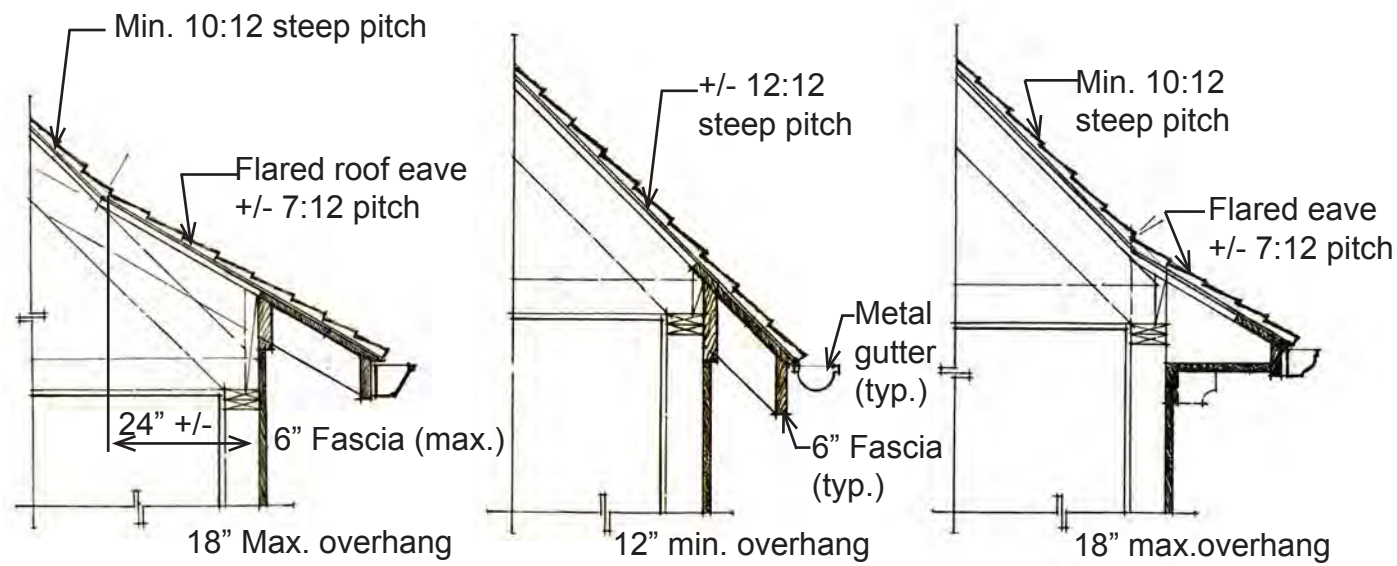
American Modern encompasses a category of architectural styles that were built in Oregon in the last century. It includes Arts and Crafts as well as Modernistic. These styles were not based on historical precedents of decoration and design, instead they often emphasized exposed structural members or expressive detailing. Many fine examples of houses in these styles can be found in older Northwest neighborhoods.

The housing styles for Villebois will be varied but with an emphasis towards those historical examples to be found in older downtown neighborhoods in Oregon. Four appropriate styles have been identified. These include: French Revival, English Revival, American Classic, and American Modern. These architectural styles have a regional historic presence and are appropriate for Villebois because they can be adapted to respond to the environmental qualities of light, climate, and topography.





### Eave Details



FLARED

STANDARD

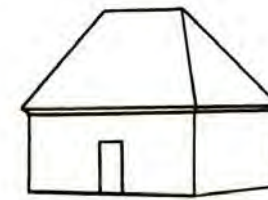
FLARED

All eaves may have open or boxed rafter tails

### Massing and Composition



The French style can be formal or informal. The most basic form is a one story box with a hipped-roof.



Formal houses are two-story with tall, steeply pitched roofs with the ridge paralleling the front of the house. They are often symmetrical with centered entry and formal detailing.



This two-story informal shape works well when placed sideways on a narrow lot with the extensive balcony and porch facing the side yard. Entrance from the street is through a gate into the courtyard.



The two-story asymmetrical hipped-roof form is the most common subtype and is based on picturesque French farmhouses. It can be formal or informal depending on detailing.



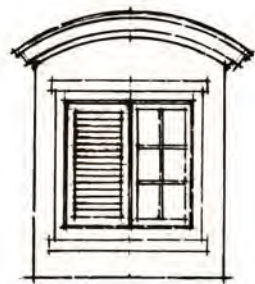
The two-story asymmetrical hipped roof forms often have a prominent round tower with a high, conical roof. The tower commonly houses the entry doorway.



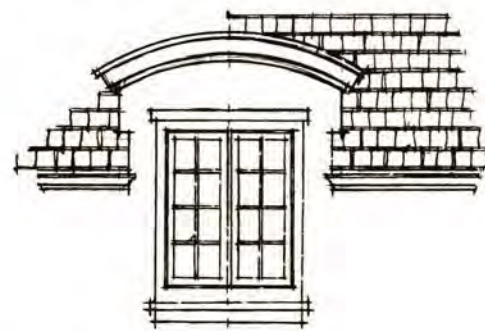
### Basic Elements:

- Tall, steeply pitched hipped roofs, with flared eaves that overhang the front façade
- Dormers through the cornice are recommended on elevations facing public streets, side streets, or public open space, but they are not required; they may be arched, circular, or hipped
- The predominant exterior cladding must be stucco or stone veneer on public street or open space elevations, non-street sides may use stucco board with battens
- Windows are tall, vertical in proportion; full-length casement (or may be single-hung) windows with shutters (French doors) often used
- Doors usually set in simple recessed openings; more formal houses may have more elaborate detailing

### Dormers



ARCHED



ARCHED THROUGH THE CORNICE



HIPPED THROUGH THE CORNICE



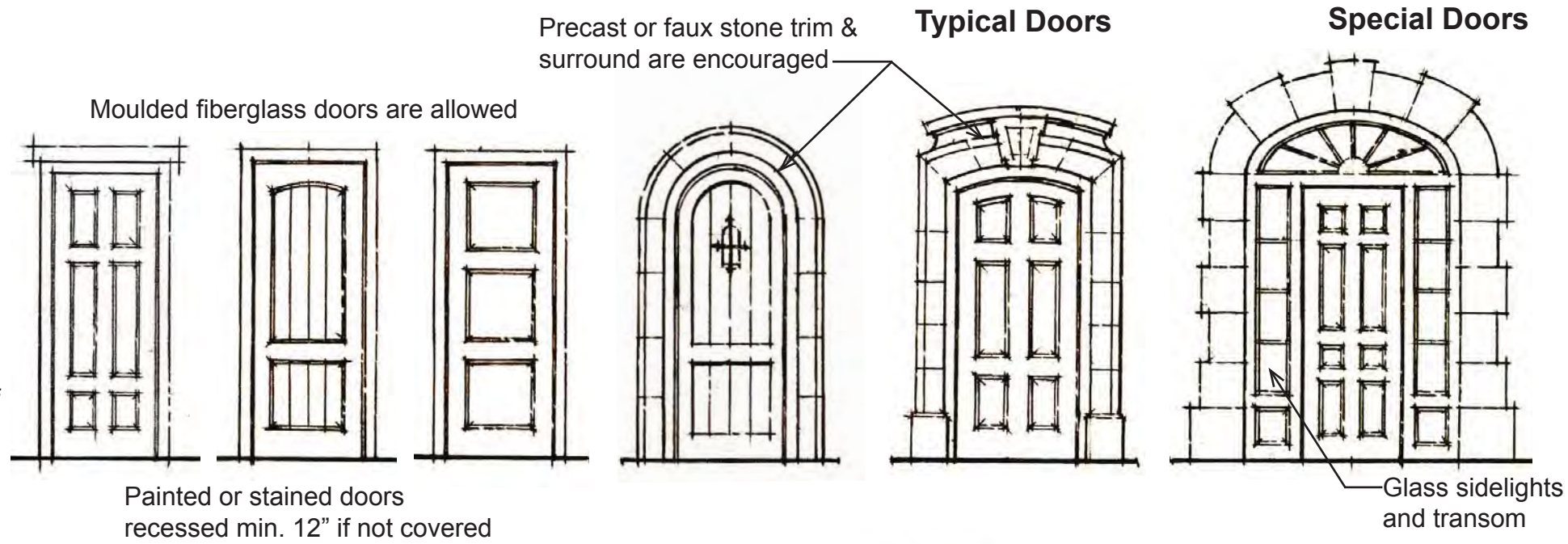
## MASSING AND ROOF FORMS

# BASIC ELEMENTS OF FRENCH REVIVAL



## Garage Doors

Garage door style must match the facade design. Garage doors proportions should be 9' wide by 8' high. If necessary, a 7' high opening may be designed to look like an 8' high opening. As an alternative, a custom 16' wide door delineated to look like two individual 8' wide by 7' high doors may be used. If the garage is set back from the facade, such as behind a portico or at the rear of the lot, then a 16' wide by 7' high door is acceptable. Windows are not allowed on French Revival. See examples, pg. D2.

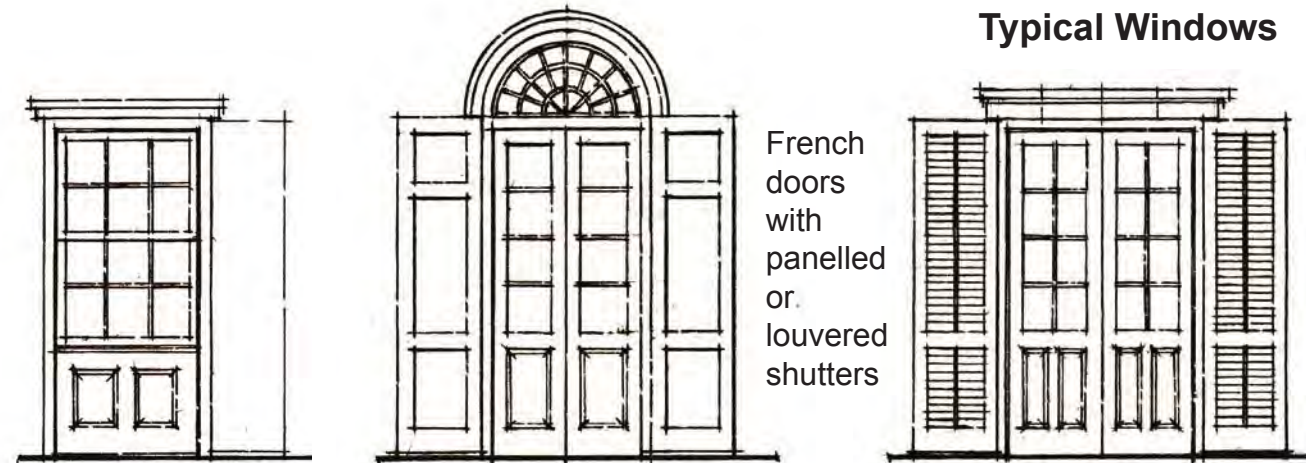
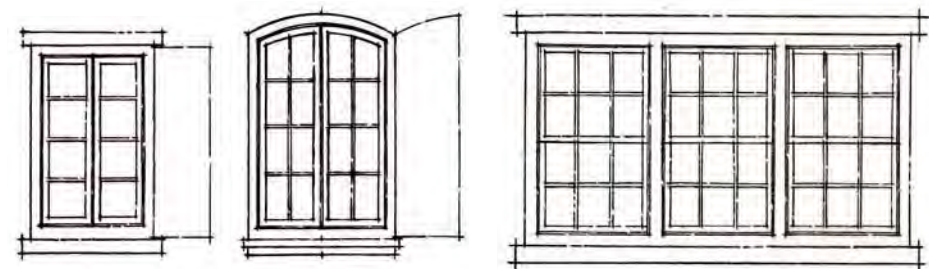


Windows to be vertical in proportion. On public facades, recess at least 2" from finish surface to window frame. Preferably stucco-wrap or stone finish with no trim.

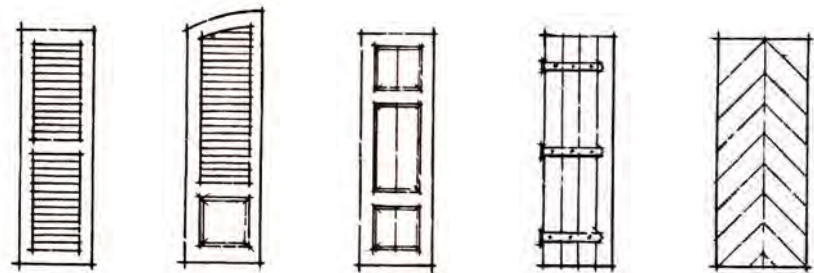
On smaller French Revival houses, recess can be created by a 2" or more depth of stucco-wrapped trim for affordability. Make opening look like a punch window opening, not an applied opening. It is not required to maintain vertical alignment but must be proportional to the building elevation. All windows on public facades must have a divided-light appearance.

On non-public sides of the facade, it is not required for windows to maintain vertical alignment between stories or have a divided-light appearance; may use windows with width no more than 1-1/2 times height. If windows exceed 4' in width, they must use a vertical divider.

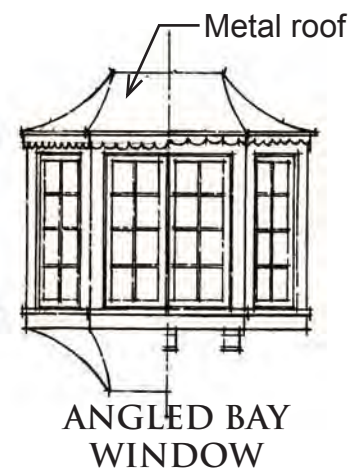
Window trim is required if window is not recessed. Shutter styles can either be paneled or louvered and must be sized to cover the opening.



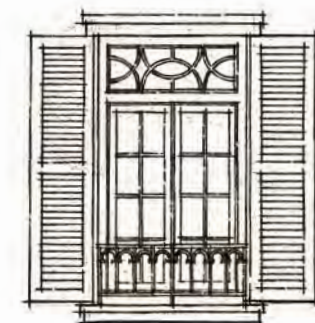
## Window Enhancements



TYPICAL SHUTTERS

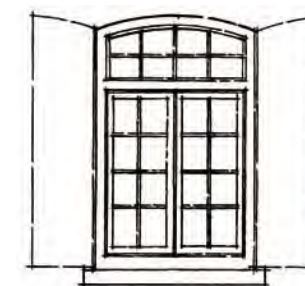


ANGLED BAY WINDOW



BALCONY FRENCH DOORS WITH TRANSOM

## Special Windows



Villebois

DOORS AND WINDOWS

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BASIC ELEMENTS OF  
FRENCH REVIVAL



**Courtyard**



**Porch**



In the informal examples of French Revival, entrance doors are often set in simple arched openings. Informal styles may have low-walled courtyards with decorative entry gates. The informal sideyard houses usually have extensive porches, often two-story.

**Stoop & Terrace**



**Portico**



Stoops and balustraded terraces are common elements that connect the house to the street and pedestrian. Porches, stoops, and terraces must be elevated a minimum of 10". Entrances are often in towers on asymmetrical houses.

Houses without a stoop, portico, or porch must have a terrace or courtyard.

For courtyard and fence details, refer to Section E - Master Fencing Program.



## ENTRANCES AND OUTDOOR SPACES

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## BASIC ELEMENTS OF FRENCH REVIVAL

Architectural Styles C5



## Materials



Example of transition from stucco on public street or open space elevation to lap siding stucco board at non-public street or open space elevation

**Cladding:** Stucco, stone, or brick must be predominant on elevations facing a public street, side street, or public open space; stucco board with battens also may be used on private side elevations

**Roofing:** Slate or concrete tile, composition shingles or cedar shingles. If not architectural grade shingles, must boost shingles at overhangs, hips, and ridges

**Windows:** Energy efficient wood, metal, or vinyl-clad wood, vinyl or steel frames and sashes

**Trim:** Stucco, pre-cast concrete, or synthetic stone

**Columns:** Fiberglass, pre-cast concrete, synthetic stone, or wood

**Railings:** Curved iron decorative railings

**Eaves, soffits and porch ceiling:** Stucco, stucco board, fiber-cement board, t & g wood or plywood

**Gutters:** Metal with an ogee or half-round edge

**Downspouts:** Round metal

**Shutters:** Historic wood, polymer, or fiberglass reproductions sized to cover the opening (Required at public street or open space elevations only)

**Chimneys:** When included, they may be stucco, stone or brick in simple rectangular designs, with modest ornamental corbelling at top

**Fences:** Refer to Section E - Master Fencing Program

**Lighting:** Shielded or cut-off luminaires to direct light down

NOTE: REFER TO V ZONE ARCHITECTURAL DESIGN STANDARDS, TABLE V-3 FOR PERMITTED MATERIALS AND CONFIGURATIONS



## Colors

**Cladding:** Whites, tans, taupe, light grey, slate greys, grey greens, khaki greens, brown greens, light yellow, muted mustard, caramel, tobacco, muted terra cotta/rust

**Roof:** Black, dark grey, and weathered wood blends

Note: all projections through the roof must be painted to match the roof

**Windows:** White, tan, with an option to add other neutral colors

**Garage doors:** Match predominant cladding color; trim may be another color but should not increase prominence of the doors

**Trim:** White or grey earthtones

**Shutters:** Grey-green, grey-blue, dark green, blue-green, burgundy, off-white

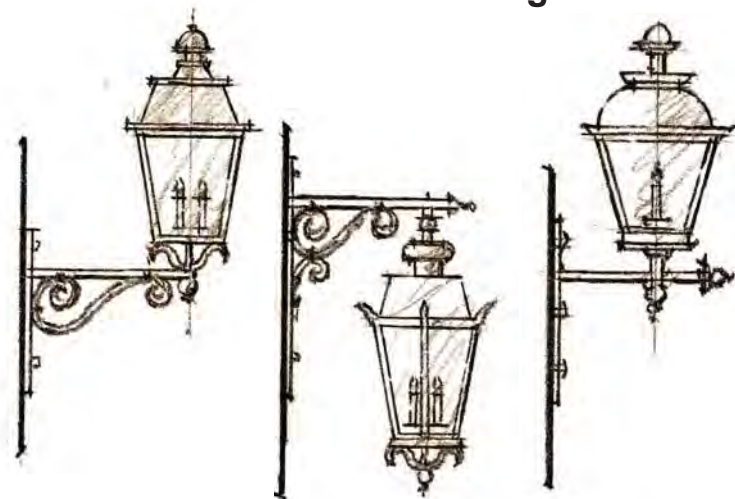
**Gutters:** Earth tones recommended, or match trim, or natural copper

**Downspouts:** Earth tones recommended, or match cladding, or natural copper

**Railings:** Dark bronze, copper verde green, or black

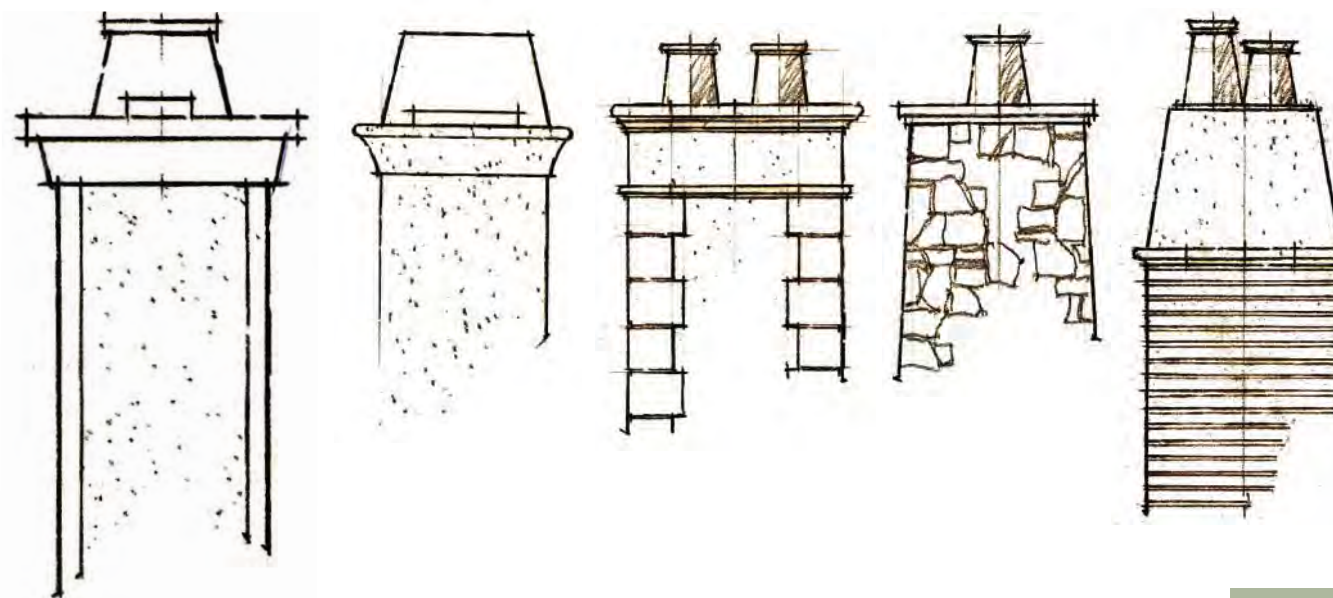
**Fencing:** Refer to Section E - Master Fencing Program

## Light Fixtures



These are examples of light fixtures shown for character style; fixtures at porches and projections may also be a simplistic version or may be recessed

## Chimneys



Villebois

MATERIALS, COLORS, LIGHT FIXTURES, AND CHIMNEYS

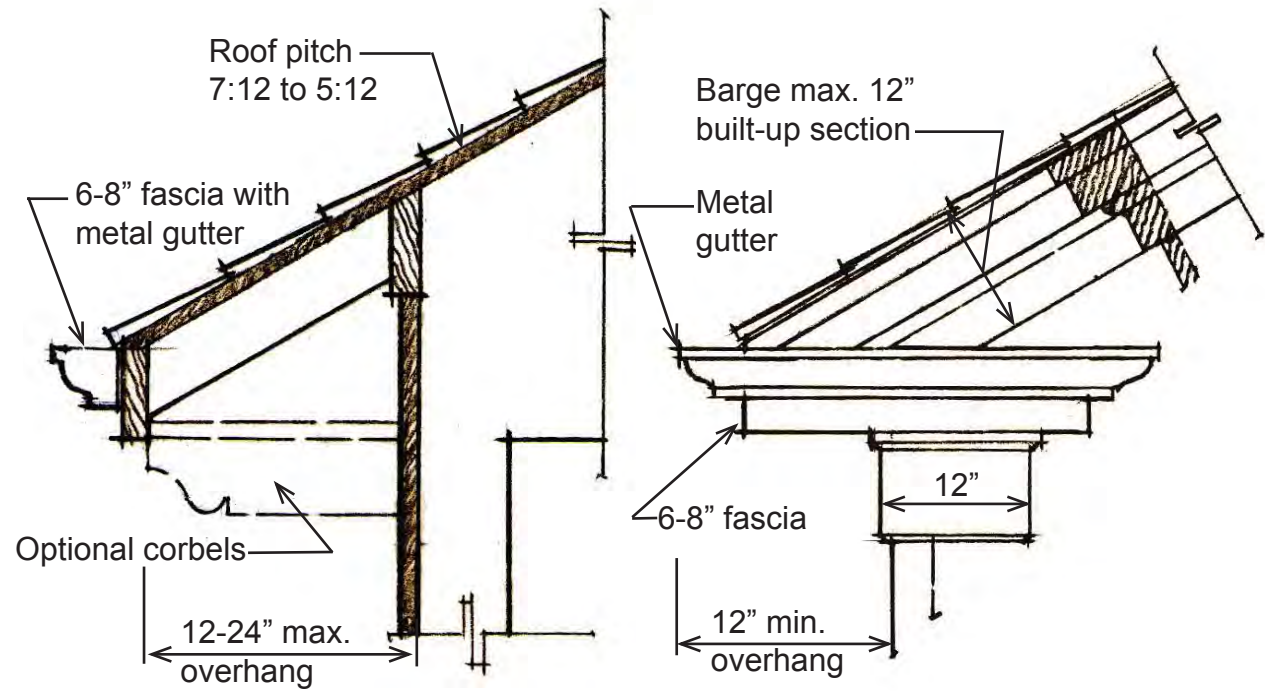
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BASIC ELEMENTS OF  
FRENCH REVIVAL

Architectural Styles C6



### Eave Details



BOXED EAVE DETAIL

CORNER RAKE DESIGN DETAIL

May have open rafter tails without corbels

### Dormers



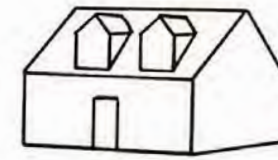
PEDIMENT

GABLE

SHED

### Massing and Composition

American Classic houses typically have simple, straightforward volumes such as the one or one-and-a-half story basic side-gabled box with gabled or pedimented dormers.



The two-story gable L shape massing typically accommodates a continuous porch with shed roof located between the legs of the L.



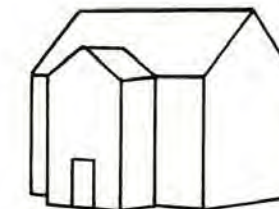
American Classic houses often have gambrel roofs in an interpretation of Dutch Colonial style. The gambrel roof is parallel to the street, and it may have dormers.



A typical American Classic two-story side-gabled box with pedimented entrance portico and gabled dormers.



Many American Classic houses have a centered front gable added to a side-gabled roof, and may have two story entrance porticos.



### Basic Elements:

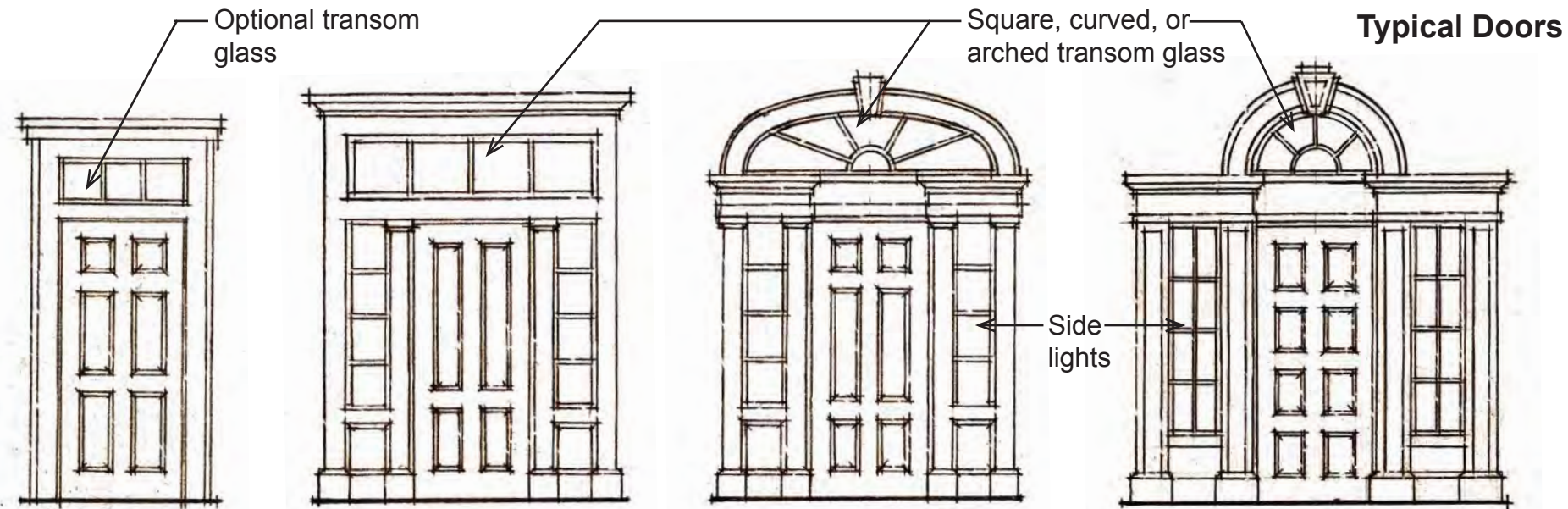
- Side-gabled roofs with little or no overhang, often with dormers
- May use boxed-in eaves; cornice returns at gable ends are encouraged
- Exterior walls clad with stucco, beveled lap siding, brick, or shingles
- Symmetrically located double-hung windows with multiple panes; and may use massive chimneys, usually at gable ends
- Simple massing of one, one-and-a-half, or two stories
- Prominent pedimented entrance porticos or porches





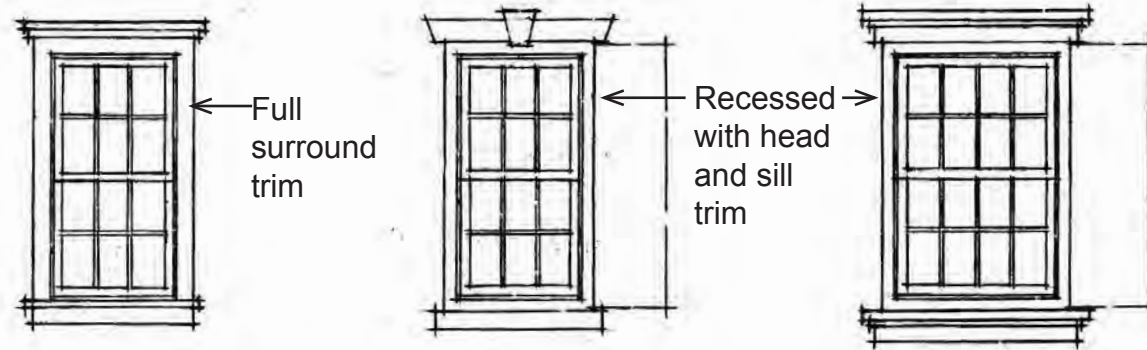
## Garage Doors

Garage door style must match the facade design. Garage doors proportions should be 9' wide by 8' high. If necessary, a 7' high opening may be designed to look like an 8' high opening. As an alternative, a custom 16' wide door delineated to look like two individual 8' wide by 7' high doors may be used. If the garage is set back from the facade, such as behind a portico or at the rear of the lot, then a 16' wide by 7' high door is acceptable. Non-rectilinear window shapes are not allowed. See examples, pg. D2.



Paneled entry doors, with detailed surrounds, painted or stained  
Moulded fiberglass doors are allowed

## Typical Doors

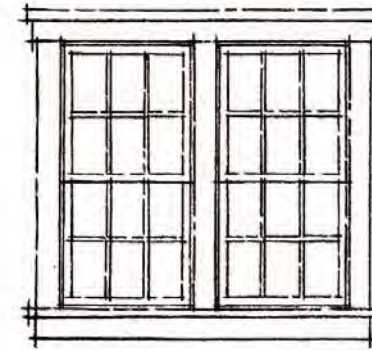


## Window Enhancements

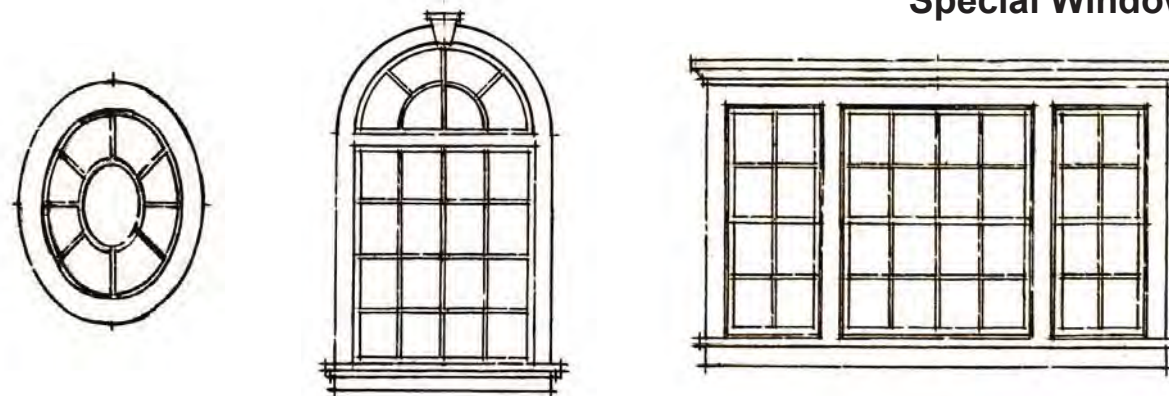


TYPICAL SHUTTERS

## Typical Windows



## Special Windows



Entrance doors should be located in the center of wide houses and the corner of narrow houses. Doors include four, six, and eight panel patterns. All but the smallest homes should have sidelights or, when there is not a porch, transom surrounds of clear glass which can be rectangular or a segmented arch form.

The façade composition of the American Classic is distinguished by a symmetrical placement of doors and windows; with vertical proportion of the door and window elements. On public facades, must use single or double-hung windows with full divided-light appearance. Standard windows usually occur as singles, but they can also be used in pairs. The window often has a decorative header.

On non-public sides of the facade, windows are not required to have a divided-light appearance or maintain vertical alignment between stories; may use windows with width no more than 1-1/2 times height. If windows exceed 4' in width, they must use a vertical divider.

Special Windows include oriel, round top, and triple windows. Triple windows usually have broad, center sashes. Various combinations of small square, rectangular, arched, and round top windows are often used over the entry door.



DOORS AND WINDOWS

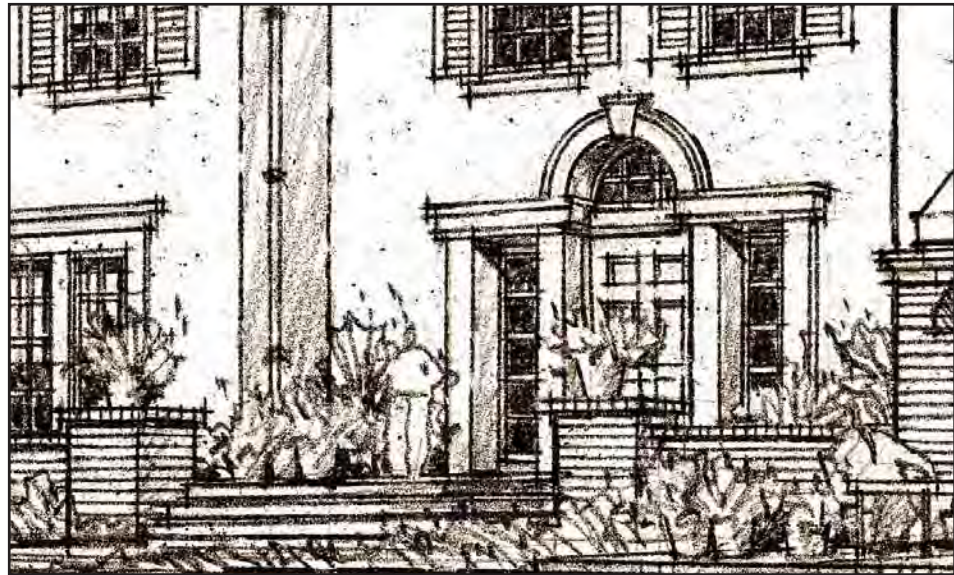
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BASIC ELEMENTS OF  
AMERICAN CLASSIC

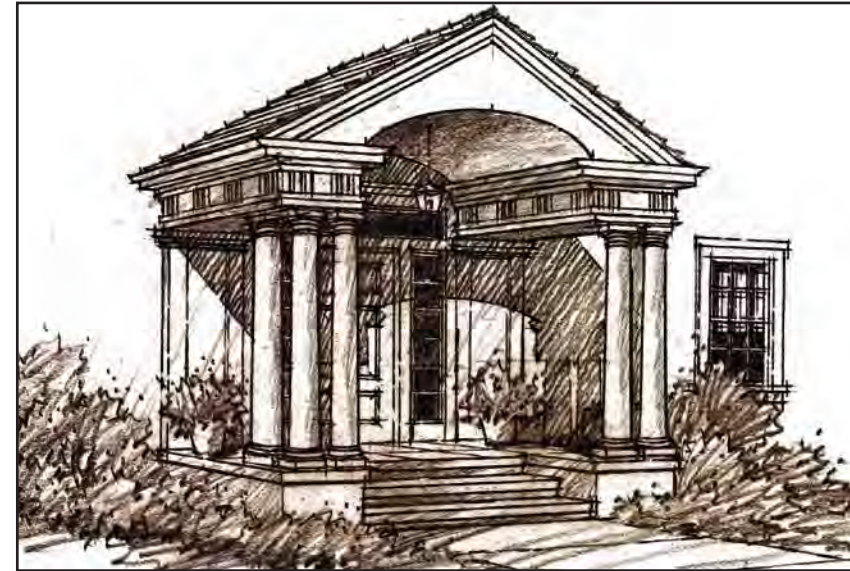
Architectural Styles C8



**Stoop**



**Portico**



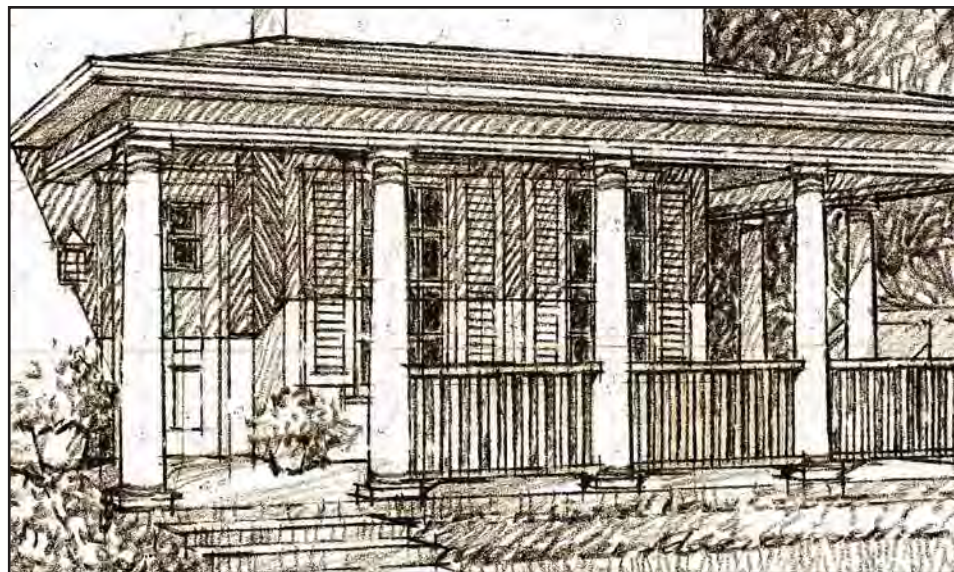
American Classic houses must have prominent pedimented entrance porticos or porches, with freestanding columns or pilasters, usually detailed in simplified versions of Tuscan, Doric, or Ionic orders. Porches can be one or two-stories with either flat or shallow hipped roofs; they can be partial or full front porches; many entry porches are topped by open balconies. The Dutch Colonial types have Gambrel roofs with entry porticos or full-front porches. Porches, stoops, and terraces must be elevated a minimum of 10".

Column variations include 10- and 12-inch-diameter Doric and Ionic order columns. Other column types include special stucco round columns, and square panel box columns.

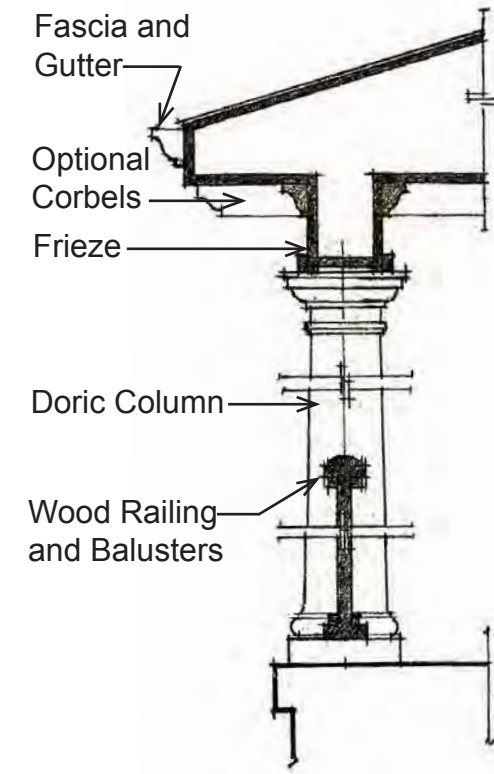
Houses without a stoop, portico, or porch must have a terrace or courtyard.

For courtyard and fence details, refer to the Section E - Master Fencing Program.

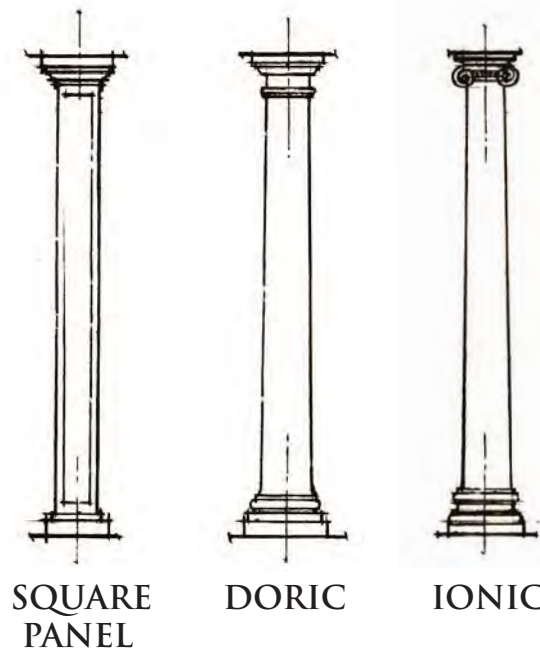
**Porch**



**Porch/Baluster Detail**



**Columns**



**ENTRANCES AND OUTDOOR SPACES**

**BASIC ELEMENTS OF AMERICAN CLASSIC**



## Materials

**Cladding:** Smooth stucco, stone, lap siding, shingles, or brick

**Roofing:** Composition, concrete, or cedar shingles. If not architectural grade shingles, must boost shingles at overhangs, hips, and ridges

**Windows:** Energy efficient wood, metal, or vinyl-clad wood, vinyl or steel frames and sashes with gridded windows on elevations facing public streets, side streets, or public open space

**Trim:** Wood, synthetic board, or polymer millwork

**Columns:** Fiberglass reproductions, polymer, or wood with classical emphasis and proportions

**Railings:** Straight or turned balusters with wood milled top and bottom rails

**Eaves, soffits and porch ceiling:** Stucco, smooth surface composition board, plaster, t & g wood, or polymer reproductions

**Gutters:** Metal with an ogee or half-round edge

**Downspouts:** Metal, round

**Shutters:** Fiberglass, wood, or polymer reproductions mounted as if operable and sized to cover the opening space

**Exposed Foundations:** (Over 12" vertical exposure) Stucco, brick, or stone required on elevations facing public streets, side streets, or public open space

**Chimneys:** When included, stucco, brick, or stone

**Fences:** Refer to Section E - Master Fencing Program

**Lighting:** Shielded or cut-off luminaires to direct light down

NOTE: REFER TO V ZONE ARCHITECTURAL DESIGN STANDARDS, TABLE V-3 FOR PERMITTED MATERIALS AND CONFIGURATIONS



## Colors

**Cladding:** White, grey, light yellows, tans, caramel, light grey, medium grey, blue/grey, slate/grey, light green, grey/green, sea green, brown/green, taupe, or muted barn red

**Brick:** Red tones

**Windows:** White, tan, with an option to add neutral colors

**Doors and Shutters:** Black, dark green, dark blue, or burgundy, or off-white

**Garage Doors:** Match predominant cladding color; trim may be another color but should not increase prominence of the doors

**Columns, and Trim:** White, earthtones

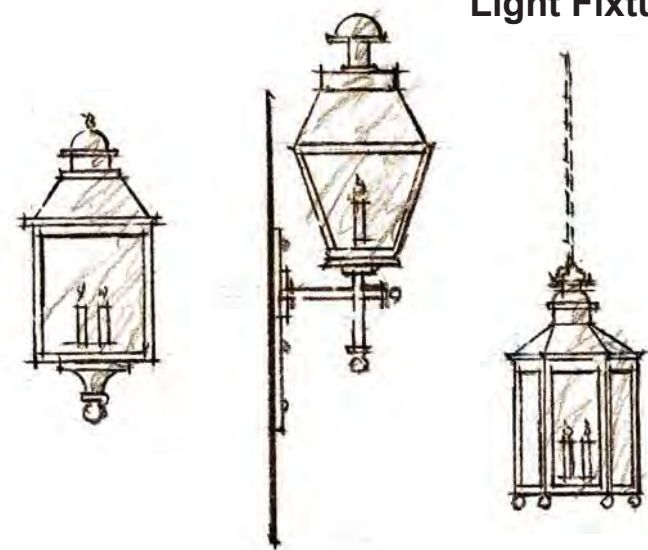
**Roof Shingles:** Weathered wood blend, and, black or dark gray  
Note: all projections through the roof must be painted to match the roof

**Gutters:** Match trim color or natural copper color

**Downspouts:** Match siding color or natural copper color

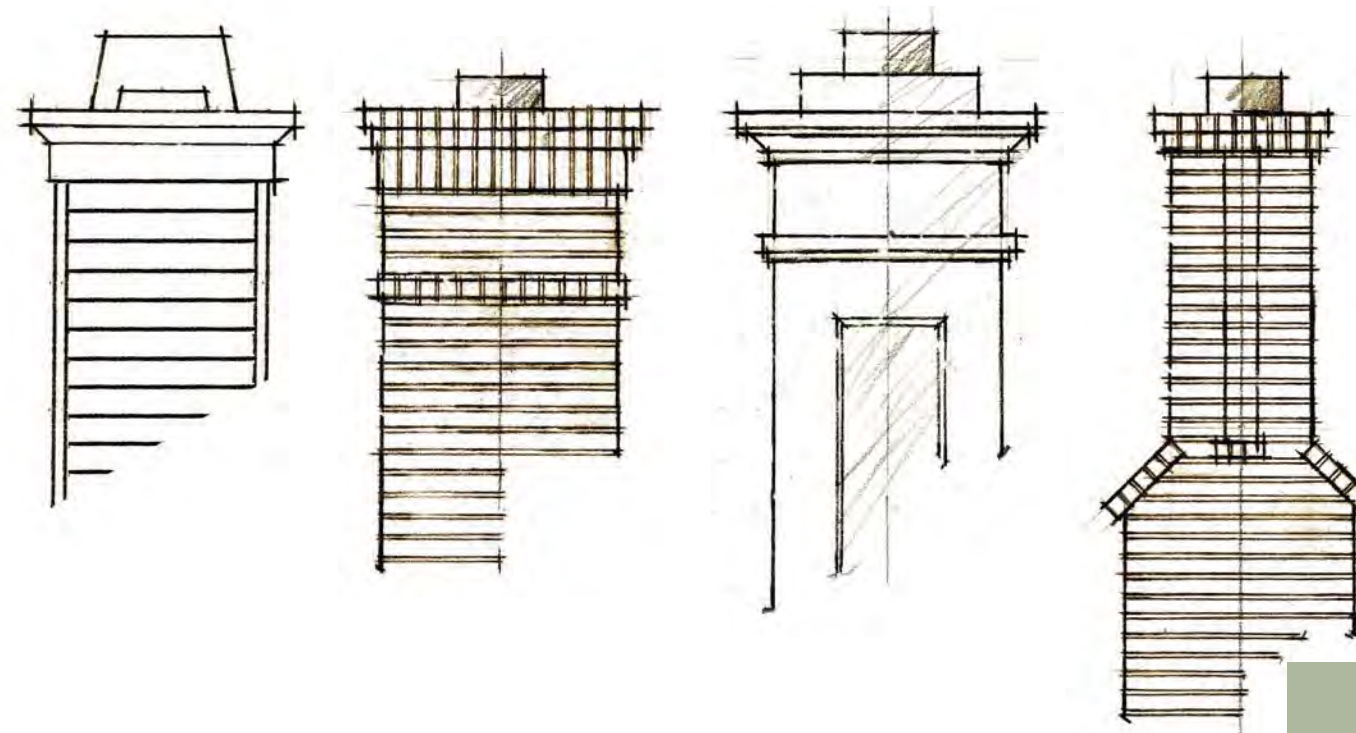
**Fencing:** Refer to Section E - Master Fencing Program

## Light Fixtures



These are examples of light fixtures shown for character style; fixtures at porches and projections may also be a simplistic version or may be recessed

## Chimneys

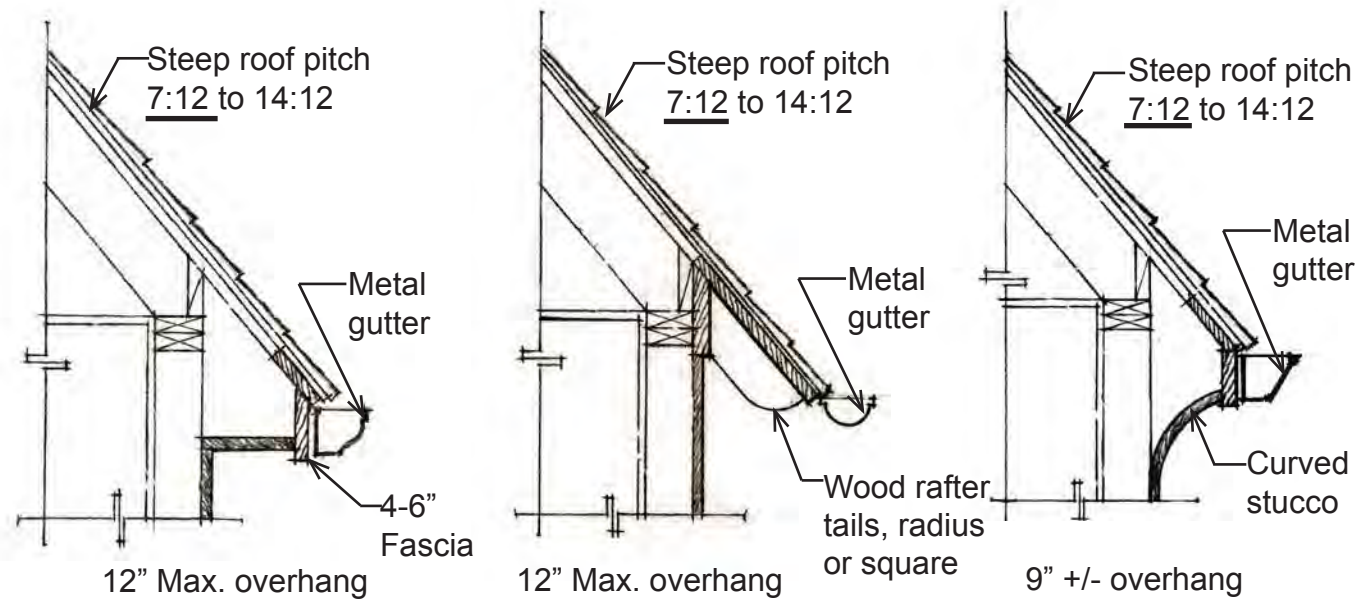


# MATERIALS, COLORS, LIGHT FIXTURES, AND CHIMNEYS

## BASIC ELEMENTS OF AMERICAN CLASSIC



### Eave Details



BOXED

OPEN

CURVED

Boxed or open rafters are allowed

### Dormers



HIPPED

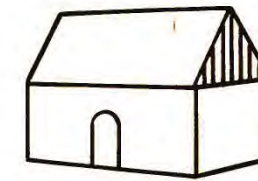
SHED

GABLE

Dormers through the cornice are recommended on elevations facing a public street, side street, or public open space, but are not required

### Massing and Composition

The interpretations of English Revival include a simple side-gabled box with a steeply pitched roof, which can have decorative half-timbering in the gable ends. The roof typically has little or moderate eave extension.



Multi-gabled facades on a side-gabled roof are also common in English Revival. Gable ends generally have no eave/overhang, except at half-timbered areas, where they may overhang up to 18".



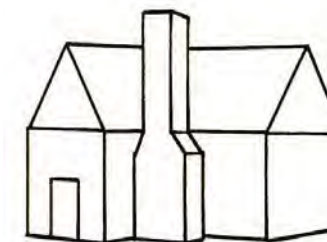
Overlapping gables with eave lines of varying heights are common. Telescoping gables, also known as catslides, are often found on this style. The rooflines often extend below windows on the second floor, and to the top of windows at first floor.



The character of the English Revival house is enhanced by the addition of wings and extensions, which through massing or detailing, appear to have been added.



The one-and-a-half or two-story gable L form is appropriate on wider lots. Chimneys typically act as primary forms for the massing of the house; they are usually very large and located on the front or side of the house.



### Basic Elements

- Steeply pitched shingled roof, usually side-gabled; façade dominated by one or more prominent cross gables
- Roof lines extend below windows at second floor, and to top of window at first floor; little or moderate eave extension
- Exterior walls finished with stucco, stucco board and battens, brick, or stone, often with false half-timbering; use of a variety of these wall materials is common.
- Casement and single-hung windows with small panes; usually arranged in series, mostly groupings of three
- May have massive chimneys, commonly on front or side of the house and crowned with decorative chimney pots
- Entrance porticos with arched projection or shed roof; porches enclosed under extensions of main roof
- Dominant form is one of a solid mass with multiple small openings



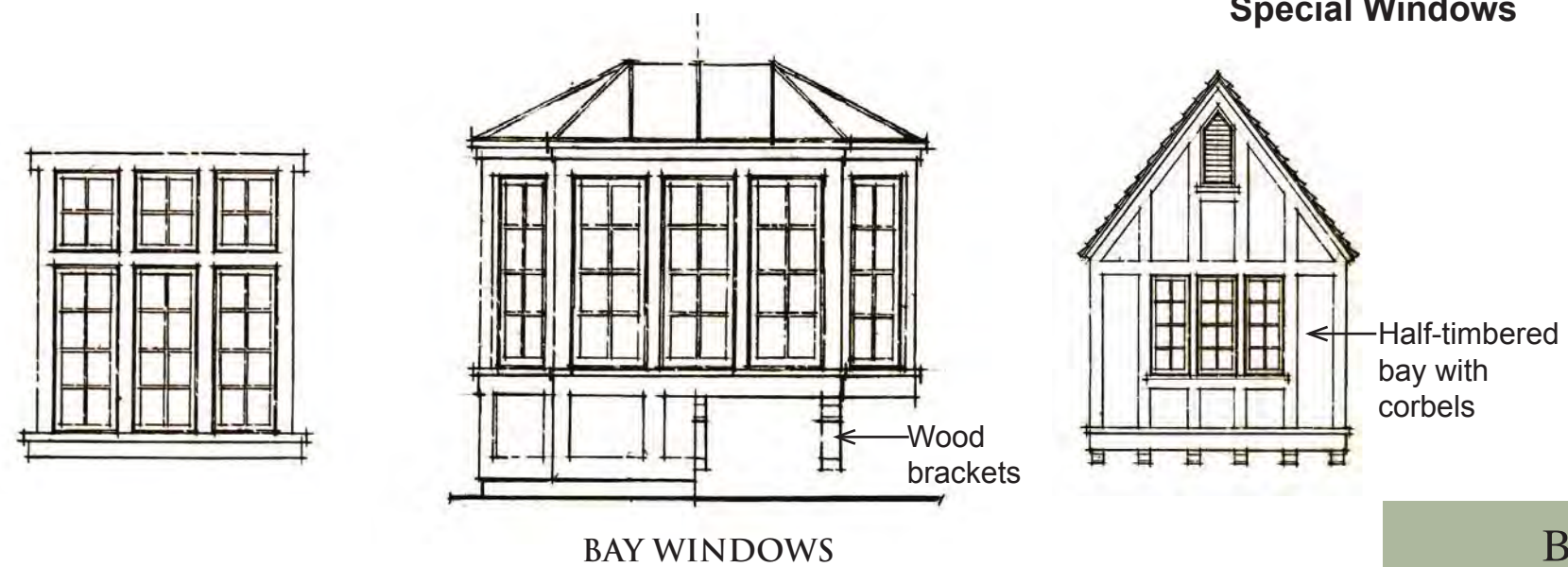
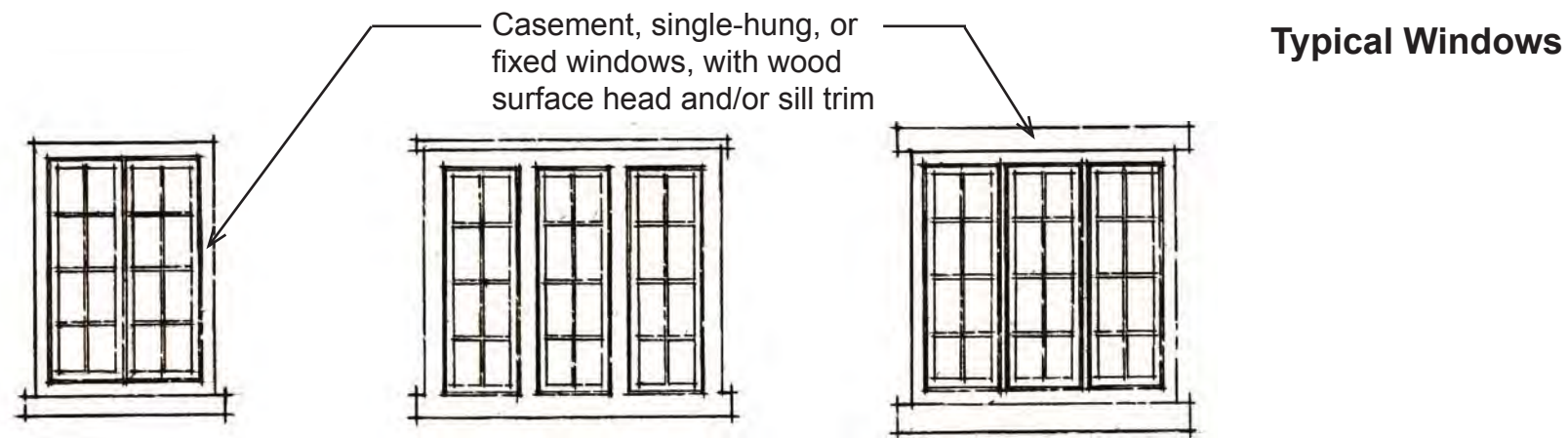
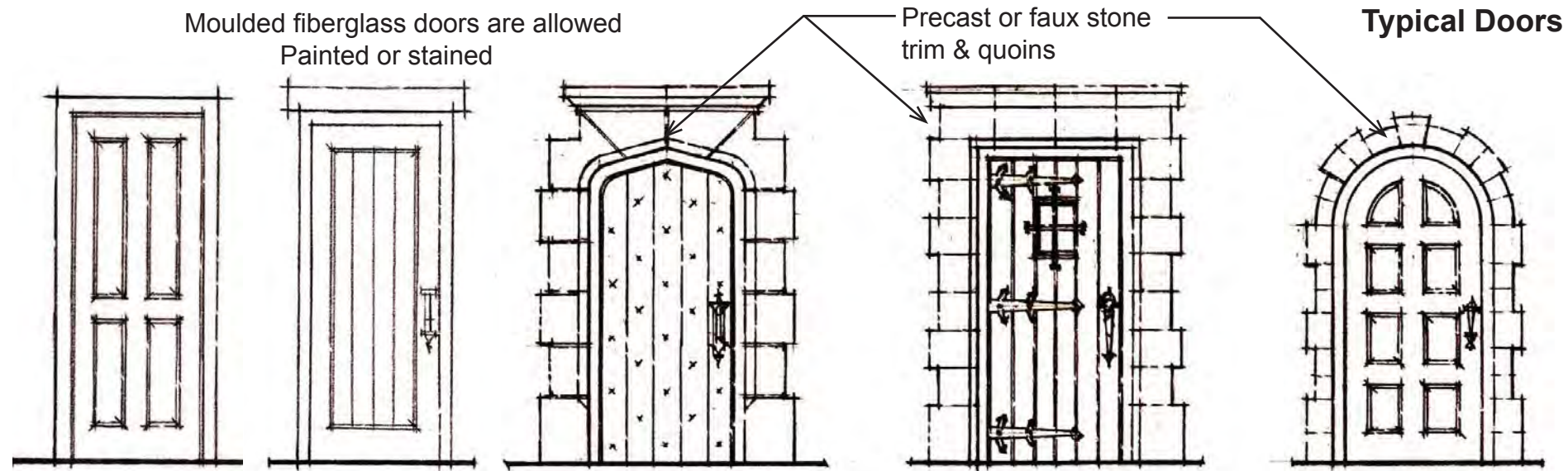
## MASSING AND ROOF FORMS

# BASIC ELEMENTS OF ENGLISH REVIVAL



## Garage Doors

Garage door style must match the facade design. Garage door proportions should be 9' wide by 8' high. If necessary, a 7' high opening may be designed to look like an 8' high opening. As an alternative, a custom 16' wide door delineated to look like two individual 8' wide by 7' high doors may be used. If the garage is set back from the facade, such as behind a portico or at the rear of the lot, then a 16' wide by 7' high door is acceptable. Garage door windows are not allowed on English Revival. See examples, pg. D2.



In the English Revival style entrances are desirable places to add detailing. Typical entrance doors are plank/board or panel type single doors, often with a round or arched top and wrought iron accents, and commonly with little or no glass. Entry doors not covered shall be recessed 12-18".

Windows to be vertical in proportion. On public facades, recess windows at least 2", preferably with stucco board or stone return. On small English Revival houses, recess can be created by a 1-1/2" or more depth of trim for affordability. Lintels and sills are only required on non-stucco board elevations. Windows with divided-light appearance are required on public facades.

On non-public sides of the facade, it is not required to maintain vertical window alignment between stories or use windows with divided-light appearance; may use windows with width no more than 1-1/2 times height. If windows exceed 4' in width, they must have a vertical divider. Recessed windows are not required on non-public sides of the facade, window trim is required if windows are not recessed.

## BASIC ELEMENTS OF ENGLISH REVIVAL



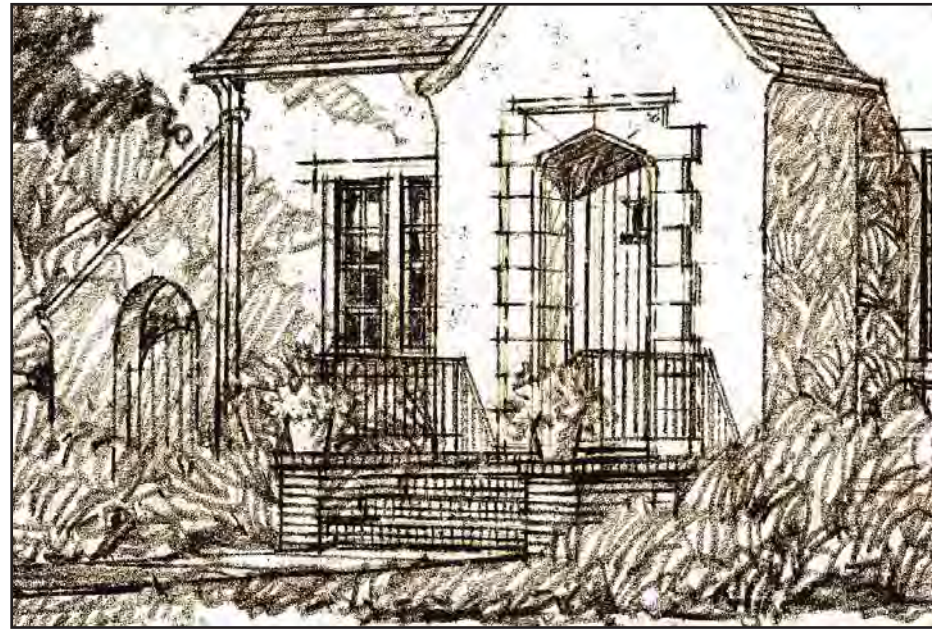
DOORS AND WINDOWS

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Architectural Styles C12



Stoop



Portico



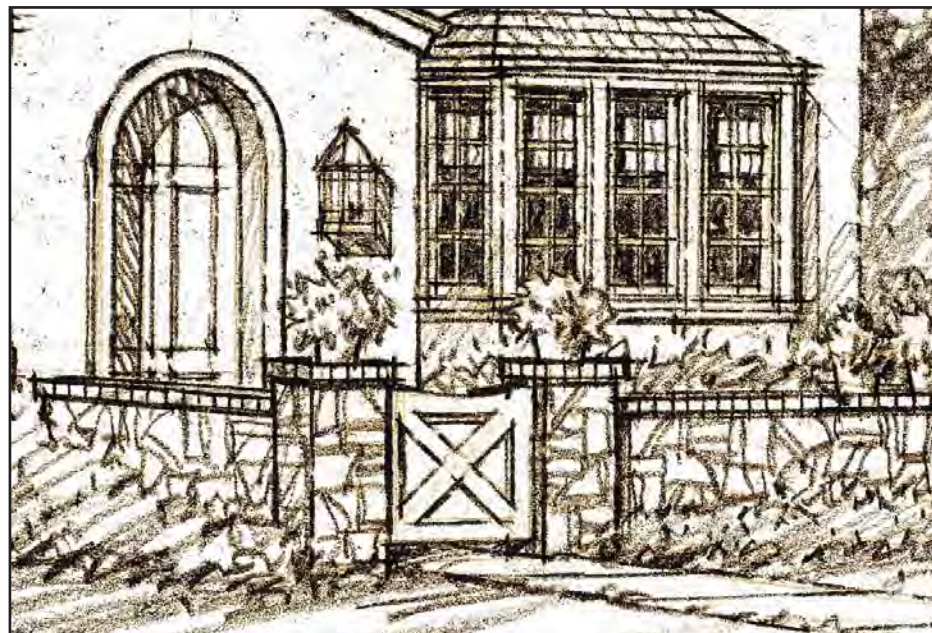
Raised stoops, porches and low-walled courtyards are important elements in the English Revival house's relationship to the pedestrian and the street. Porches are not dominant features of the typical English Revival style but are encouraged at Villebois. Porches must be focused at entrances and side wings and they should be understated. They feature post and beam construction, shed roofs, and arched braces between posts and beams.

Porches, stoops, and terraces must be elevated a minimum of 10".

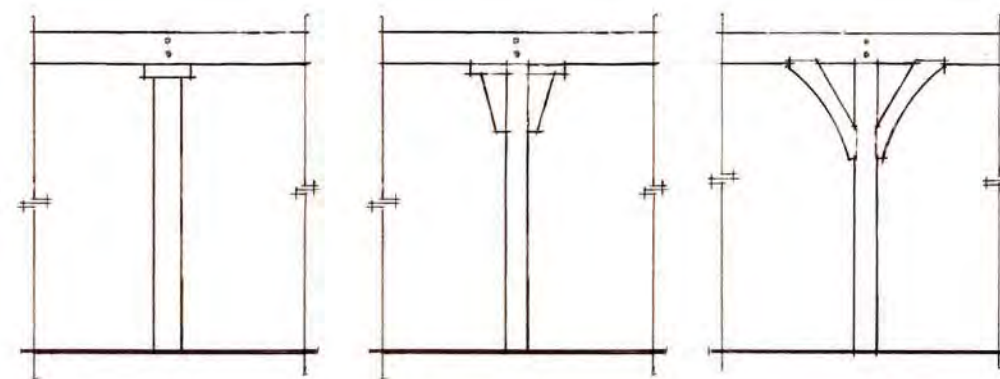
Houses without a stoop, portico, or porch must have a terrace or courtyard.

For courtyard and fence details, refer to Section E - Master Fencing Program.

Courtyard



Post Braces



Post size minimum 6 x 6



# ENTRANCES AND OUTDOOR SPACES

# BASIC ELEMENTS OF ENGLISH REVIVAL



**Cladding:** Stucco with hand-made, plaster appearance, stucco board with battens, plaster, brick, or stone must be predominant on elevations facing a public street, side street, or public open space; skirl board, lap siding, shingles, or board and batten may be subdominant and may also be used on other elevations; stucco board may be used in half-timbering areas.

**Half-Timbering:** Decorative half-timbering in the gables is very common and can occur on the entire second story or in the upper gables. Where half-timbering is used at second stories, the plane should overhang the first floor 8 to 15 inches, supported by corbels below.

**Roofing:** Slate tile, flat concrete tile, composition shingles, or cedar shingles. If not architectural grade shingles, must boost shingles at overhangs, hips, and ridges

**Windows:** Energy efficient wood, metal, or vinyl-clad wood, vinyl or steel frames and sashes; with gridded windows on elevations facing a public street, side street, or public open space.

**Columns:** Wood posts

**Trim:** Ornamental cast stone or wood

**Eaves, soffits, and porch ceiling:** Plaster, stucco, boxed wood or stucco board, fiber-cement board, t & g wood or plywood; must use t & g wood or plywood with rafter tails

**Gutters:** Metal or wood with a half-round, ogee, or square profile

**Downspouts:** Round metal

**Chimneys:** When included, stucco with hand-made / plaster appearance, or masonry

**Fences:** Refer to Section E - Master Fencing Program

**Lighting:** Shielded or cut-off luminaires to direct light down

NOTE: REFER TO V ZONE ARCHITECTURAL DESIGN STANDARDS, TABLE V-3 FOR PERMITTED MATERIALS AND CONFIGURATIONS

**Materials**



**Colors**

**Cladding:** White, ivory, creamy light tans, medium to dark tans, buff, khaki/green, brown/green, sage/green, grey/brown, tobacco

**Half-timbering:** Dark brown stain, brown or grey-brown paint

**Roof:** Dark brown, and weathered wood blends

Note: all projections through the roof must be painted to match the roof

**Windows:** Sashes and frames to be tan, and an option to add neutral colors.

**Garage Doors:** Match cladding or trim color; trim may be another color but should not increase the prominence of the doors

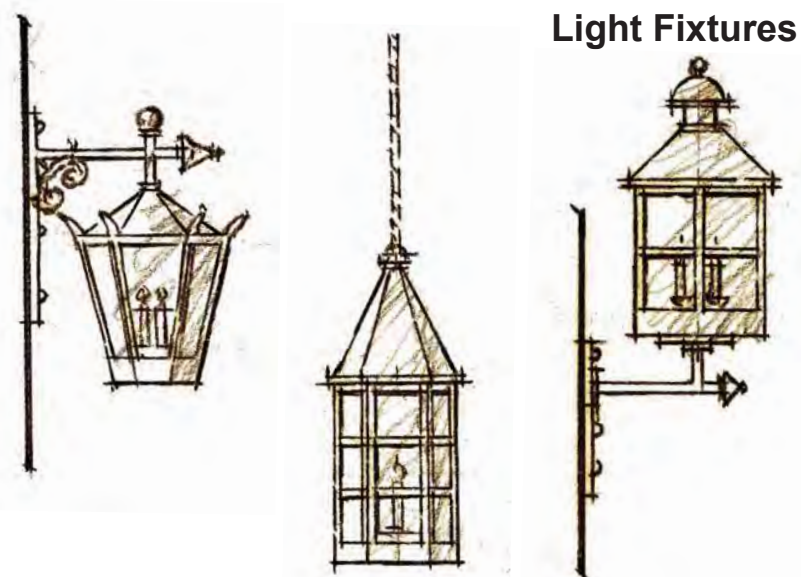
**Trim:** Dark brown stain, brown or grey-brown paint

**Gutters:** Earth tones recommended

**Downspouts:** Earth tones recommended

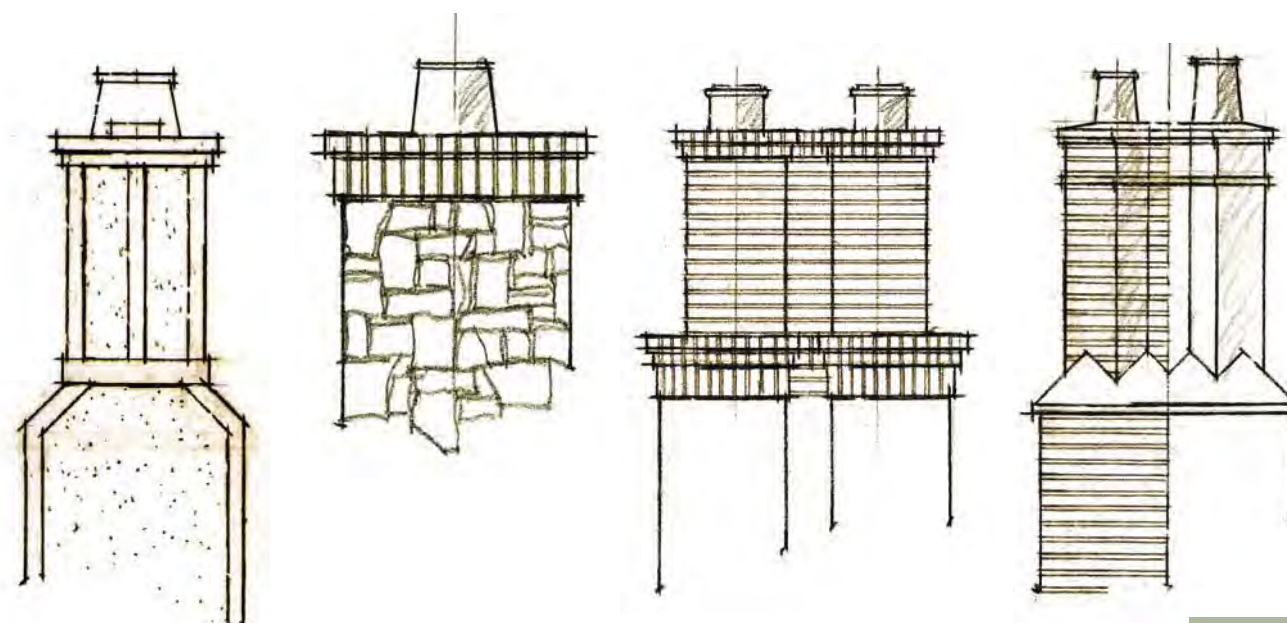
**Fencing:** Refer to Section E - Master Fencing Program

**Light Fixtures**



These are examples of light fixtures shown for character style; fixtures at porches and projections may also be a simplistic version or may be recessed

**Chimneys**

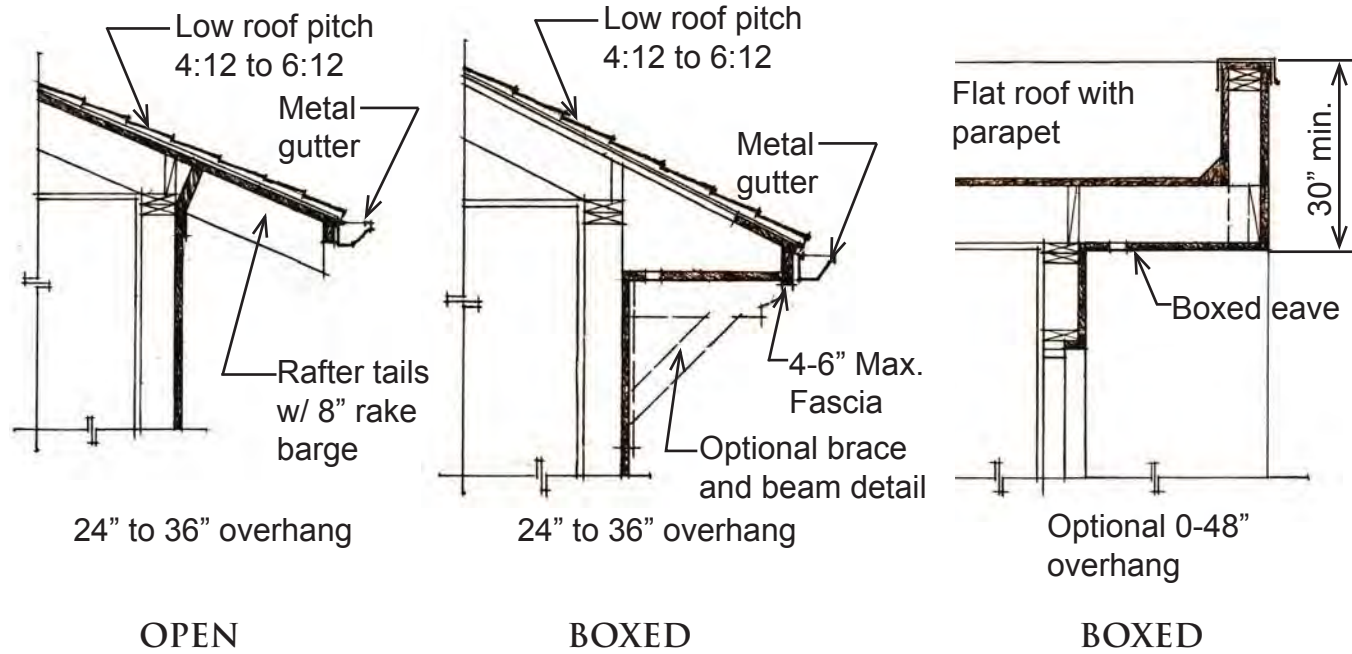


MATERIALS, COLORS, LIGHT FIXTURES, AND CHIMNEYS

BASIC ELEMENTS OF ENGLISH REVIVAL



### Eave Details



OPEN

BOXED

BOXED

### Arts and Crafts

### Modernistic

### Massing and Composition

### Arts and Crafts

The basic Arts & Crafts house is a Craftsman style that typically has a simple straightforward volume, normally one to one-and-a-half stories. The roof is low-pitched, end or side-gabled, with widely extended unenclosed eaves, usually supported by beam extensions or brackets. This subtype characteristically has a prominent front porch open to the street.

Arts and Crafts houses are also commonly built in a Prairie Box or Foursquare shape which is two-story with a low pitched hipped roof and front roof dormers. The roof has widely extended boxed-in eaves, sometimes supported by brackets. The basic plan is often augmented with a porch or one-story room attachment.



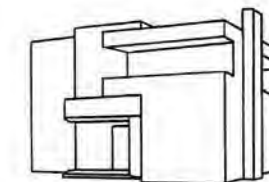
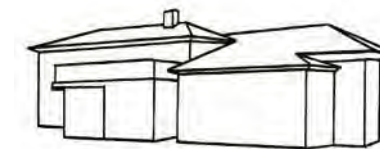
### Basic Elements:

The American Modern style is composed of two subtypes - Arts and Crafts, including Prairie and Craftsman, which turned its back on historical precedent for decoration and design, and Modernistic, where the emphasis was on standardization of parts, absence of all non-functional decoration, and simple structural forms. It incorporates a number of progressive ideals of the early 1900's such as the straightforward use of materials, an informal way of living and accessibility to the outdoors.

### Modernistic

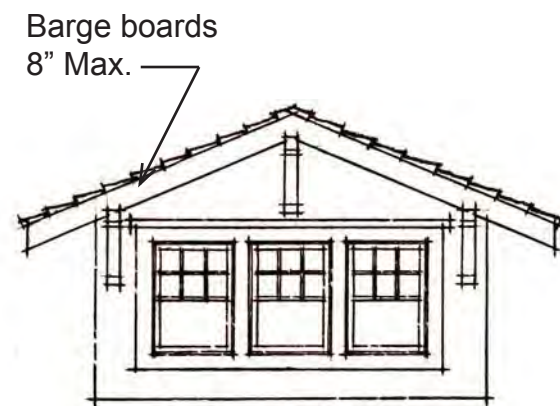
The Modernistic house subtype typically is composed of simple, asymmetrical shapes, which form a sculptural mass. Roofs are low sloped with extensive cantilevered eaves, often with multiple roof planes.

Modernistic houses also often have flat roofs that can have a parapet wall or wide boxed overhangs. One or more corners of the building may be curved, and cantilevered projections such as roofs, balconies, or second stories are common. Upper stories may also step back from lower ones creating balconies.

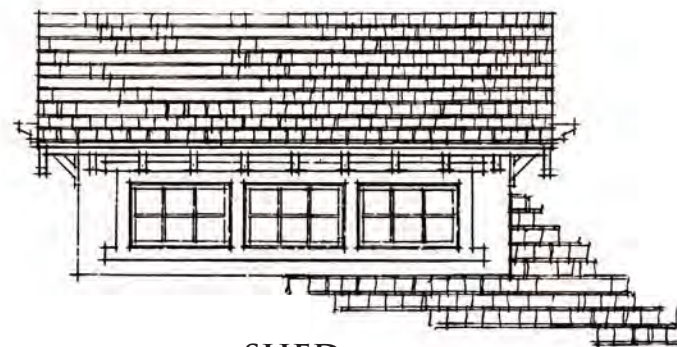


- Roofs vary from steeply gabled to flat with multiple planes
- Simple composition of one or one-and-a-half or two stories
- Smooth exterior wall surfaces with simple or no decorative detailing at doors and windows
- Embellishment limited to expressive functional/structural detailing or the addition of natural materials that are native to the region
- Generous use of windows

### Dormers - Arts & Crafts



GABLE



SHED



## MASSING AND ROOF FORMS

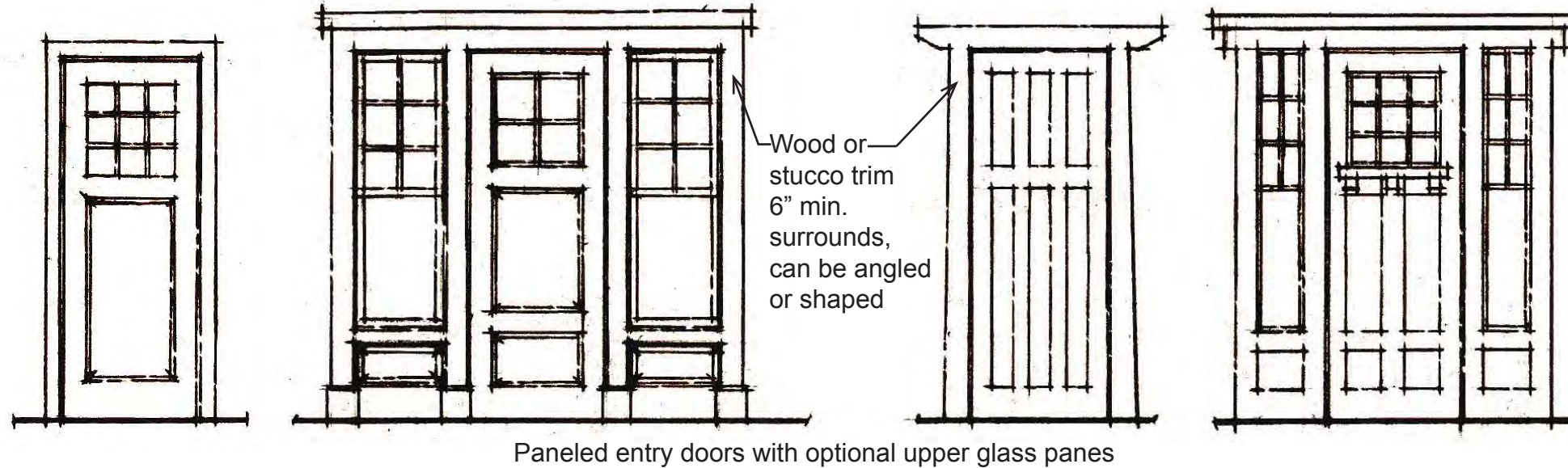
## BASIC ELEMENTS OF AMERICAN MODERN



## Garage Doors

Garage door style must match the facade design. Garage door proportions should be 9' wide by 8' high. If necessary, a 7' high opening may be designed to look like an 8' high opening. As an alternative, a custom 16' wide door delineated to look like two individual 8' wide by 7' high doors may be used. If the garage is set back from the facade, such as behind a portico or at the rear of the lot, then a 16' wide by 7' high door is acceptable. Windows on garage doors are encouraged for American Modern. Non-rectilinear window shapes are not allowed. See examples, pg. D2.

Moulded fiberglass doors are allowed, painted or stained



Paneled entry doors with optional upper glass panes

## Typical Doors



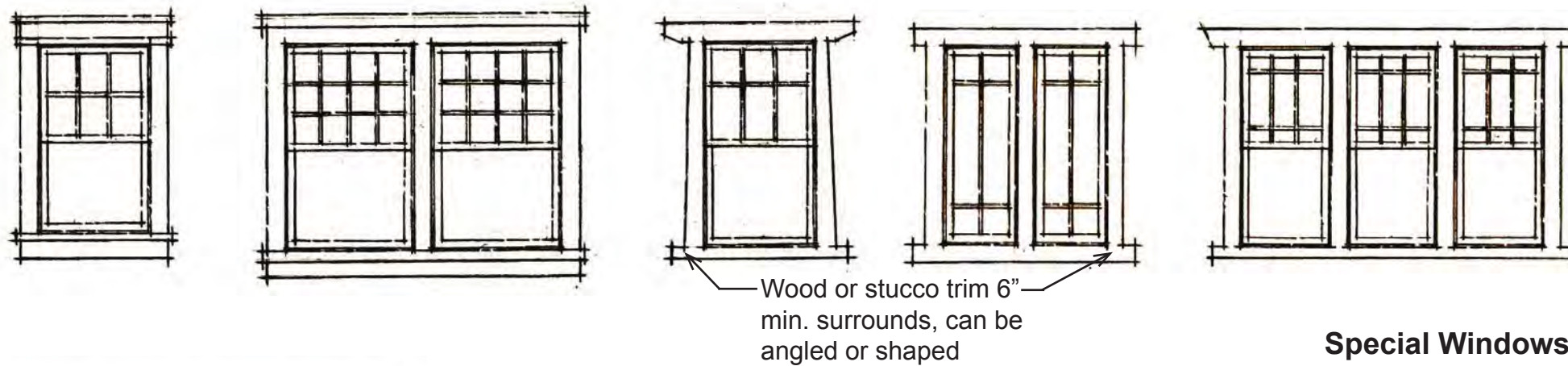
The doors on American Modern Arts and Crafts houses are simple in design; they are often a stained wood panel door or a wood plank design. They may have transoms, and/or decorative, stained glass sidelights.

American Modern houses have an abundance of windows, usually single-hung but occasionally casements, and ganged together in 3, 4, or 5 window combinations. All windows on elevations facing public streets, side streets, or public open space shall have a divided-light appearance.

On elevations facing non-public areas, it is not required to maintain vertical window alignment between stories or use windows with divided-light appearance; window width may be no more than 1-1/2 times window height. If windows exceed 4' in width, they must have a vertical divider.

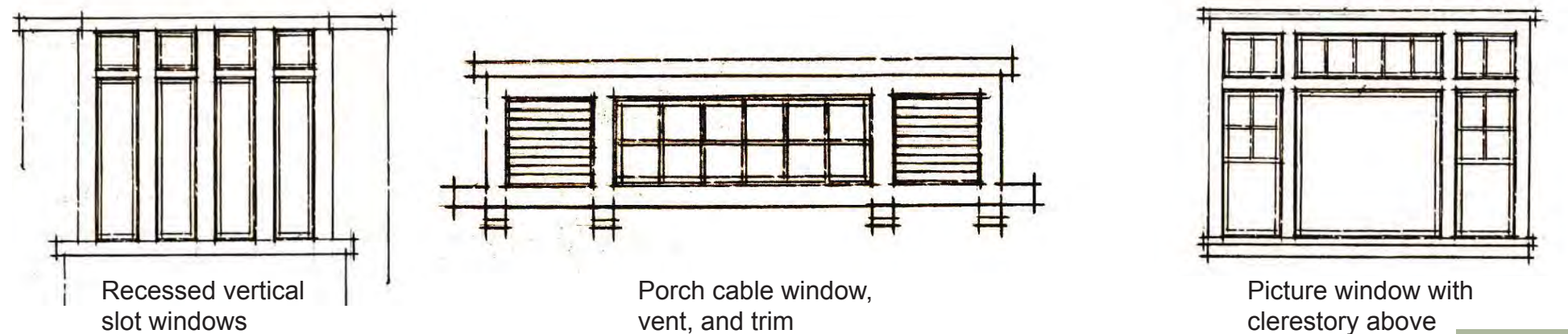
Special Windows include angled or boxed bay windows, small square windows, vertical slot windows, picture windows, stained glass, or other accent windows.

Trim may be either a tapered or straight moulding, the head should extend beyond the jamb trim. A more formal house might use a cap molding.



## Typical Windows

## Special Windows



Recessed vertical slot windows

Porch cable window, vent, and trim

Picture window with clerestory above



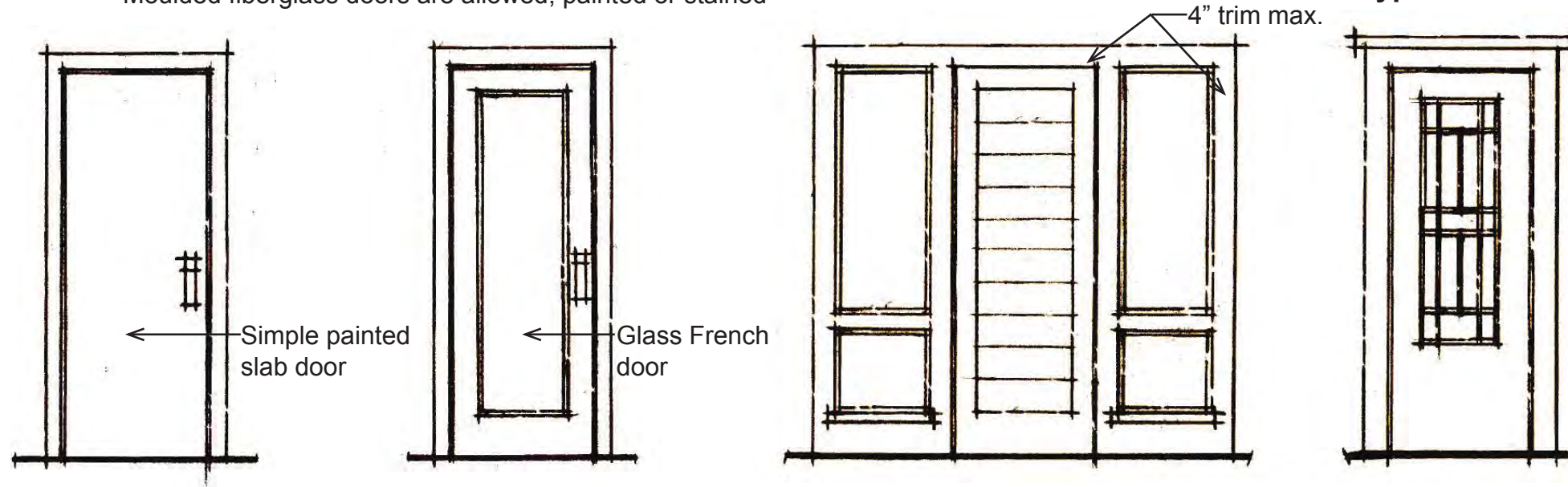
## DOORS AND WINDOWS - ARTS AND CRAFTS



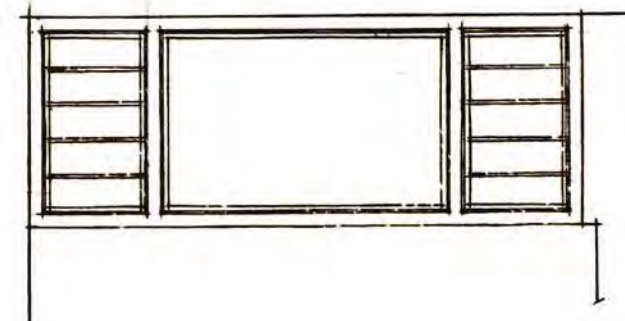
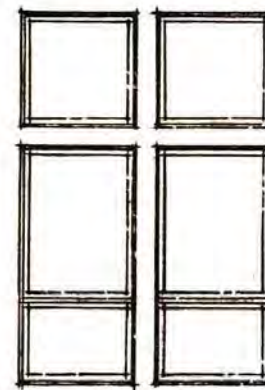
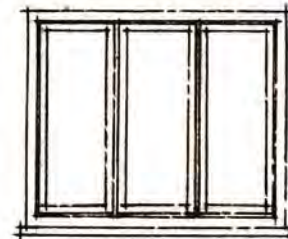
## Garage Doors

Garage door style must match the facade design. Garage door proportions should be 9' wide by 8' high. If necessary, a 7' high opening may be designed to look like an 8' high opening. As an alternative, a custom 16' wide door delineated to look like two individual 8' wide by 7' high doors may be used. If the garage is set back from the facade, such as behind a portico or at the rear of the lot, then a 16' wide by 7' high door is acceptable. Windows on garage doors are encouraged for American Modern. Non-rectilinear window shapes are not allowed. See examples, pg. D2.

Moulded fiberglass doors are allowed; painted or stained



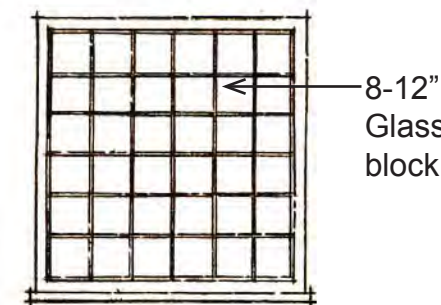
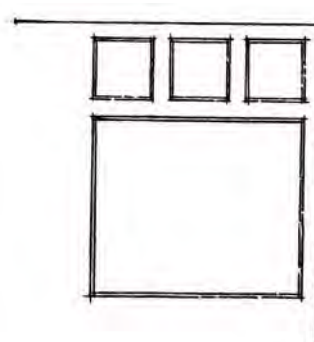
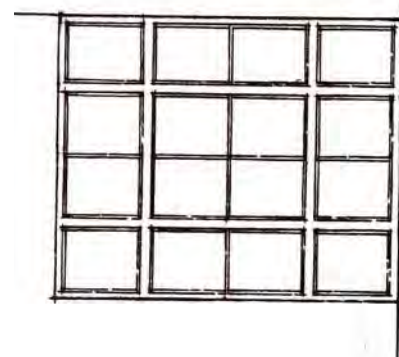
## Typical Doors



## Typical Windows

Sliding, casement, awning, or fixed windows, recessed or surface mounted, minimal or no trim

## Special Windows



The doors on Modernistic houses are to be simple in design; flush wood with a stained or painted finish. They are located at corners or wings, or set into a row of ribbon windows.

Modernistic houses have an abundance of windows, arranged in long ribbons; continuous bands of glazing with evenly spaced, thin, vertical mullions. Windows are usually casements, sometimes wrapping around building corners. Floor to ceiling windows and large picture windows are also common.

Special Windows include picture windows, small square windows and glass block.

Trim is the simplest possible detail, or no trim on recessed doors and windows.

Windows on elevations facing public streets, side streets, or public open space must have divided-light appearance if front elevation uses them.

Elevations not facing onto public space are not required to maintain vertical alignment between stories or have divided-light appearance; may use windows with width no more than 1-1/2 times window height. If windows exceed 4' in width, they must have a vertical divider.



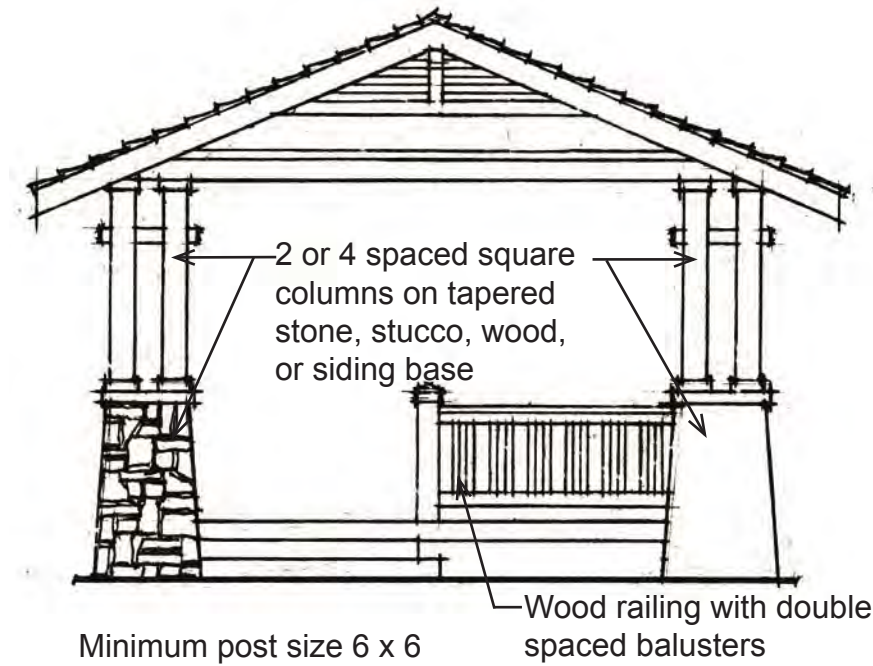
## DOORS AND WINDOWS - MODERNISTIC



**Porch**



**Porch Detail**



Arts & Crafts houses have entrance doors under porches, often Craftsman style full-front porches with a wide variety of column styles typically used. Arts & Crafts styles also feature porch / balcony combinations or simple covered stoops and courtyards which relate well to the street and pedestrians. Porches may be incorporated into the main body of the house or stand-alone. Porches, stoops, and terraces must be elevated a minimum of 10".

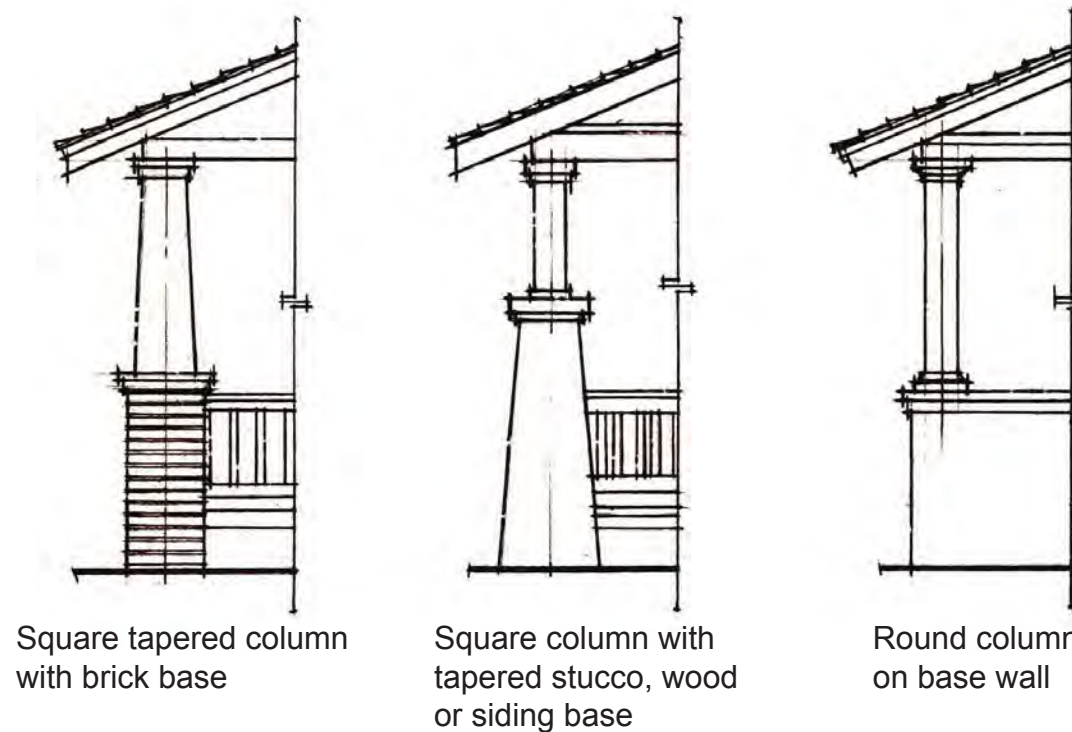
Houses without a stoop, portico, or porch must have a terrace or courtyard.

For courtyard and fence details, refer to Section E - Master Fencing Program.

**Portico & Balcony**



**Column Variations**



Square tapered column with brick base

Square column with tapered stucco, wood or siding base

Round column on base wall



**ENTRANCES AND OUTDOOR SPACES - ARTS & CRAFTS**

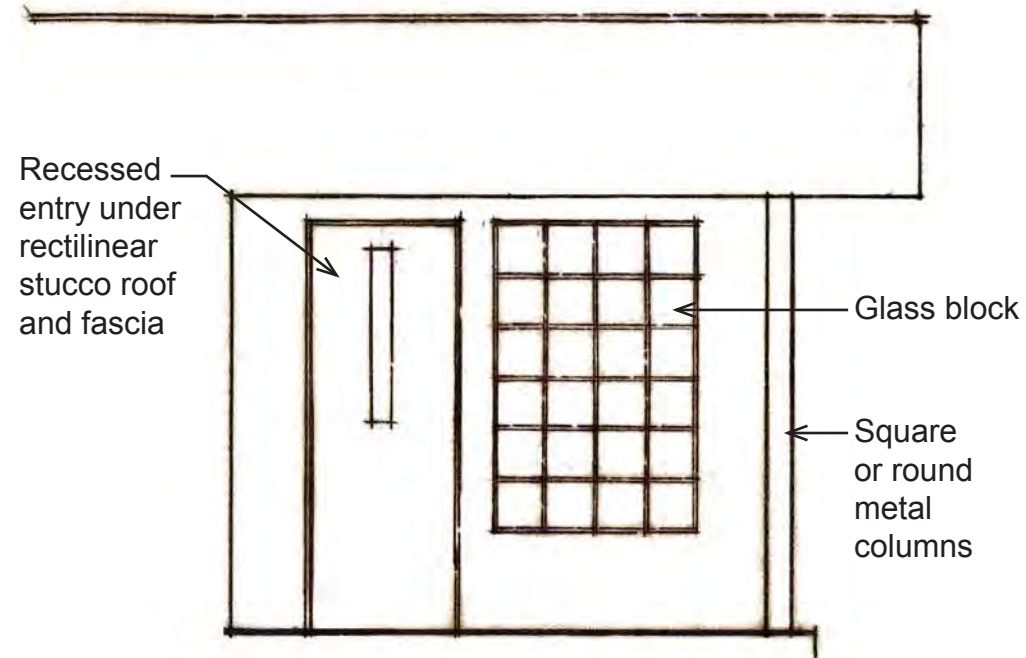
**BASIC ELEMENTS OF AMERICAN MODERN**



**Courtyard**



**Entrance**



Modernistic houses often have entrance doors located off center under balconies or cantilevered projections. They have outdoor spaces such as courtyards and balconies which relate well to the street and pedestrians. Porches may be incorporated into the main body of the house or stand-alone. Porches, stoops, and terraces must be elevated a minimum of 10".

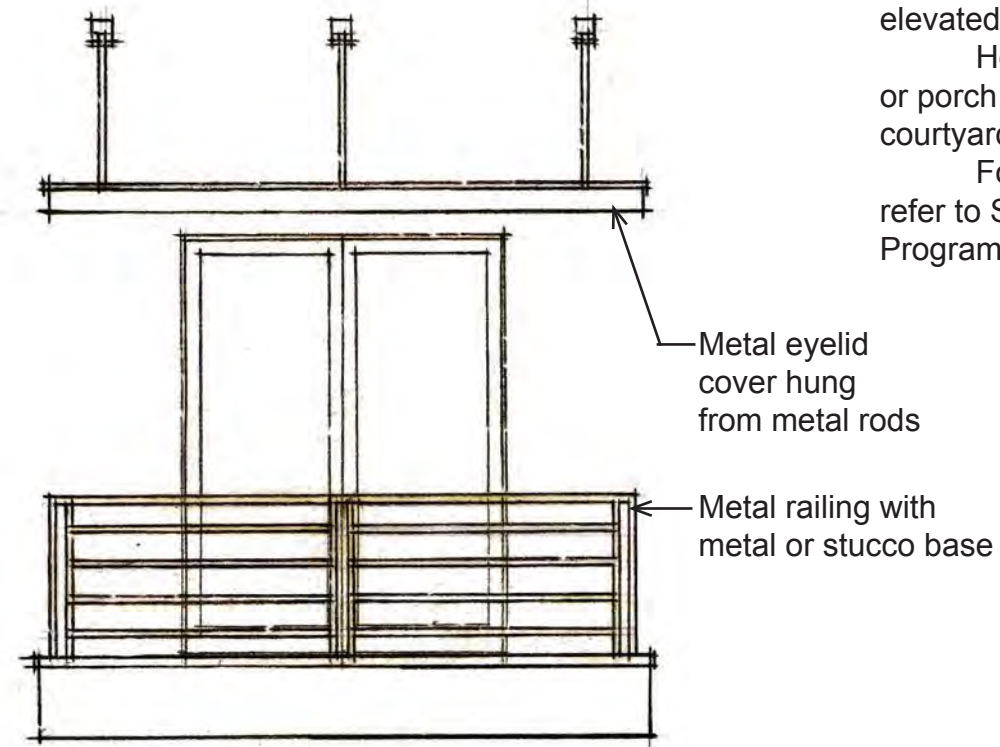
Houses without a stoop, portico, or porch must have a terrace or courtyard.

For courtyard and fence details, refer to Section E - Master Fencing Program.

**Covered Stoop**



**Balcony**



**ENTRANCES AND OUTDOOR SPACES - MODERNISTIC**

**BASIC ELEMENTS OF AMERICAN MODERN**



**Materials**

**Cladding:** Stucco, wood or fiber-cement lap or shingle siding, masonry, board and batten, or cast-in-place concrete (on Modernistic only)

**Roofing:** Composition or cedar shingles, concrete tiles, slate, and standing seam metal or built-up flat roofs (on Modernistic only). If not architectural grade shingles, must boost shingles at overhangs, hips, and ridges

**Windows:** Energy efficient wood, metal, or vinyl-clad wood, vinyl or steel frames and sashes

**Trim:** Wood, stucco, or synthetic board

**Columns:** Wood, siding, fiberglass, synthetic stone, brick, stucco, or cast concrete (on Modernistic only)

**Eaves, soffits and porch ceiling:** Plaster, stucco, stucco board, fiber-cement board, t & g wood or plywood; boxed

soffits are smooth, exposed eaves must use t & g wood or plywood with rafter tails

**Railings:** Iron, welded steel, or wood

**Gutters:** Metal with an ogee, half-round edge, or boxed

**Downspouts:** Metal, round or box

**Exposed Foundations:** (Over 12" vertical exposure) Stucco, brick, or stone required on elevations facing public streets, side streets or public open space only

**Chimneys:** When included, stucco, brick, or stone

**Fences:** Refer to Section E - Master Fencing Program.

**Lighting:** Shielded or cut-off luminaires to direct light down

NOTE: REFER TO V ZONE ARCHITECTURAL DESIGN STANDARDS, TABLE V-3 FOR PERMITTED MATERIALS AND CONFIGURATIONS



**Colors - Arts & Crafts**

**Cladding:** Muted, light to medium tans, tan/rust, caramel, tobacco, muted terra cotta, light greens, blue/green, sage green, grey/greens, grey/brown, taupes and earth tones

**Roof:** Dark browns, and weathered wood blends

**Windows:** White, tan, option to add neutral colors

**Garage Doors:** Match cladding color, trim may be another color but should not increase the prominence of the doors

**Trim:** Dark to medium earthtones

**Gutters:** Match trim color, or natural copper

**Downspouts:** Match siding color, or natural copper

**Colors - Modernistic**

**Cladding:** Whites to very light muted grey earthtones

**Roof:** Dark browns, dark greys, and weathered wood blends

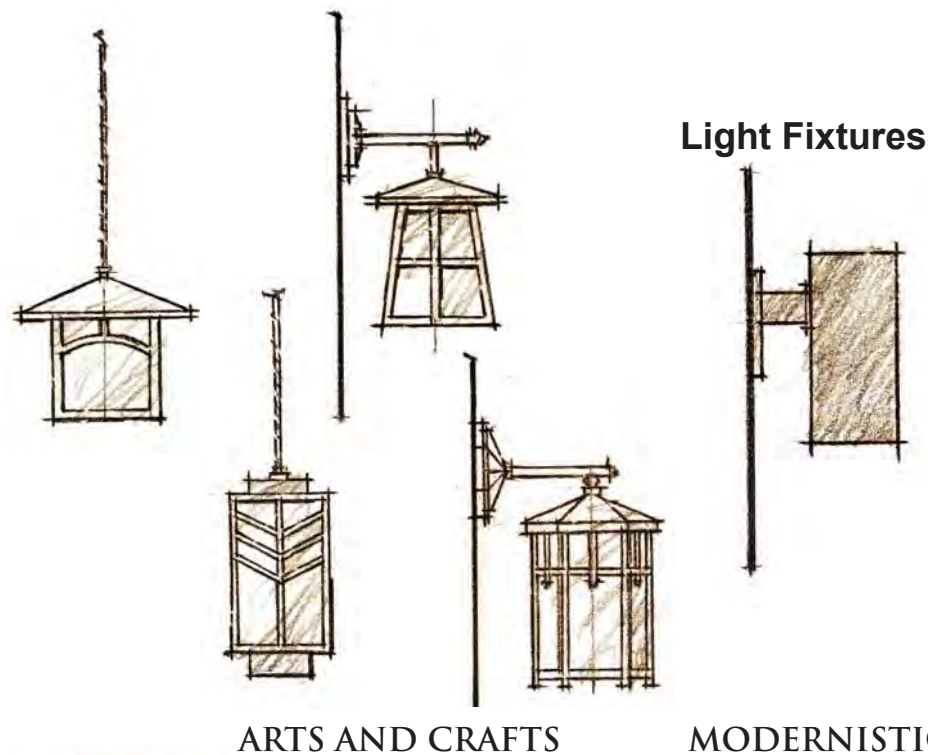
**Windows and Doors:** White or very dark colors-blue, green, terra cotta, earthtones, black

**Garage Doors:** Match cladding color, trim may be another color but should not increase the prominence of the doors

**Trim, Gutters, Downspouts:** Monochromatic with cladding

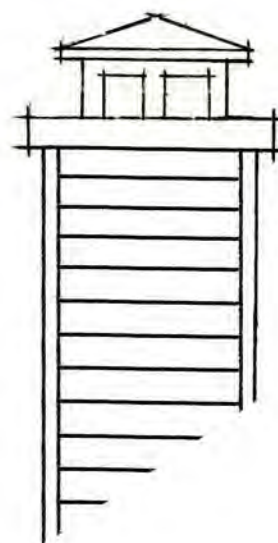
**Fencing:** Refer to Section E - Master Fencing Program

Note: projections through the roof must be painted to match the roof

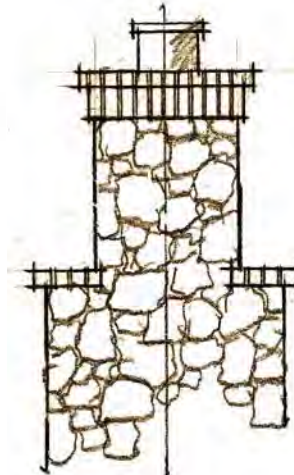


ARTS AND CRAFTS

MODERNISTIC



ARTS AND CRAFTS



**Chimneys**



MODERNISTIC

These are examples of light fixtures shown for character style; fixtures at porches and projections may also be a simplistic version or may be recessed



MATERIALS, COLORS, LIGHT FIXTURES, AND CHIMNEYS

BASIC ELEMENTS OF AMERICAN MODERN



## Diversity and Rules of Adjacencies

**Diversity** Since diversity is one of the guiding principals for Villebois, rules for allowable adjacencies and diversity are required. Houses and buildings based on the Appropriate Architectural Styles from the Architectural Pattern Book shall be combined using the Rules of Adjacencies to achieve the variety of styles required by the Villebois Village Master Plan.

**Rules of Adjacencies** This section is included to provide direction and examples for the Scale and Proportions requirement and Repetition issues in the Villebois Village Design Standards. The drawings are arranged on the following pages according to the land use type and the width of the front façade of the building. For each of the lot or land use types, examples are provided for each of the four Architectural Styles.

**Drawings** The drawings are the guidelines for proportions, scale and massing, composition of doors and windows, and additional examples of an Architectural Style. Although only the front elevation is shown, the other elevations of the building within the public view shed shall continue the style, massing and general composition as denoted on Page B1. In response to natural light and climate and to maximize daylighting, elevations not within the public view shed can have more glazing at the first floor and on second floors, and may have less detailing than is otherwise required.

**Options** The Architectural Style drawings illustrate patterns intended to be used only as a guideline for design. There are many other possibilities that would meet the Design Standards if they follow these examples of massing, composition, scale, and proportions appropriate for the width of the lot or land use type and the architectural style.

**Adjacency** For all lot types, no single family detached dwellings with both the same floor plan and style shall be plotted adjacent to each other or directly across the street from each other. For row houses and neighborhood apartments, no buildings with both the same composite floor plan configuration

and style shall be plotted on adjacent blocks. Adjacent row house and neighborhood apartment buildings separated by a green space or facing directly across the street from each other may be of both the same floor plan configuration and Style.

**Small Lots** Small lots may use the same style for up to 6 lots in a group when arranged on a courtyard.

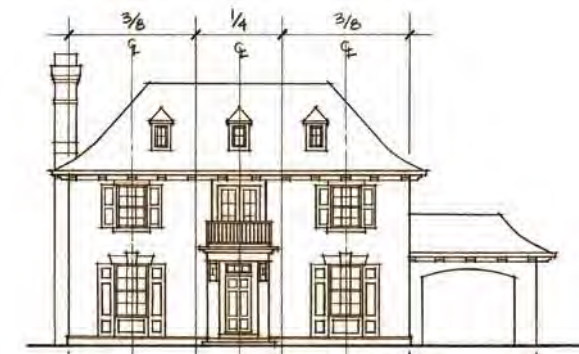
**Small, Medium, Standard & Large Lots** Required house Style diversity for small, medium, standard, and large lots shall be as follows:

1. For five or less lots that are in-line along a street, or located directly across the same street, a minimum of one Appropriate Styles shall be utilized.
2. For six to twelve lots that are in-line along a street or located directly across the same street, a minimum of two Appropriate Styles shall be utilized.
3. For thirteen or more lots in-line on a street or located directly across the same street, a minimum of three Appropriate Styles shall be utilized.

Note: When more than one Style is required at least one shall be the European type.

**Row Houses & Neighborhood Apartments** Required diversity for row houses and neighborhood apartments shall be as follows:

1. For three or less buildings that are located in-line along a street or separated by a cross street, or four buildings plotted with two buildings directly across the street from two buildings, a minimum of one Appropriate Styles shall be utilized.
2. For four or more buildings that are located in-line along a street or separated by a cross street, or five or more buildings plotted directly across the street from each other, a minimum of two Appropriate Styles shall be utilized.



Required continuity for row houses and neighborhood apartments shall be as follows:

1. Buildings located directly across the same street shall be of the same Style.
2. Buildings located on the same block shall be of the same Style unless this would cause a conflict with rule number one, above.

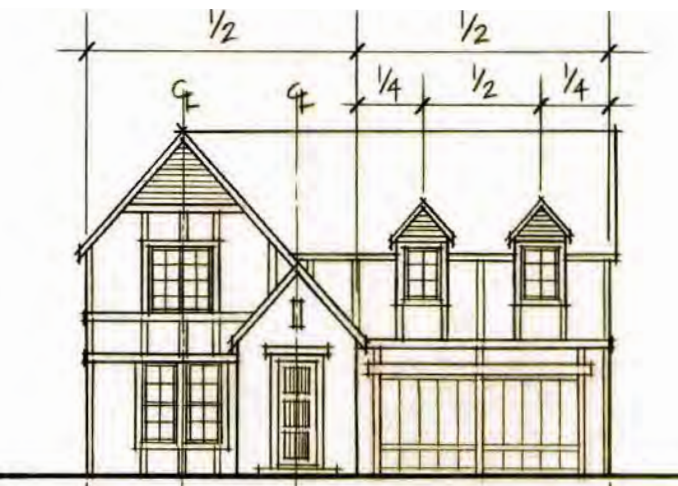
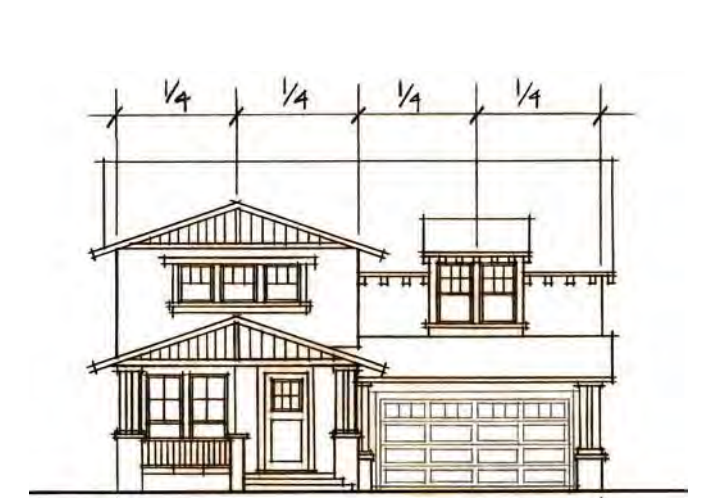
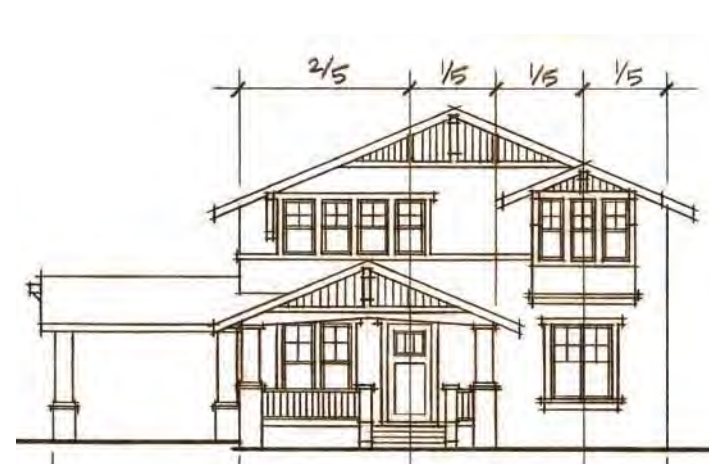
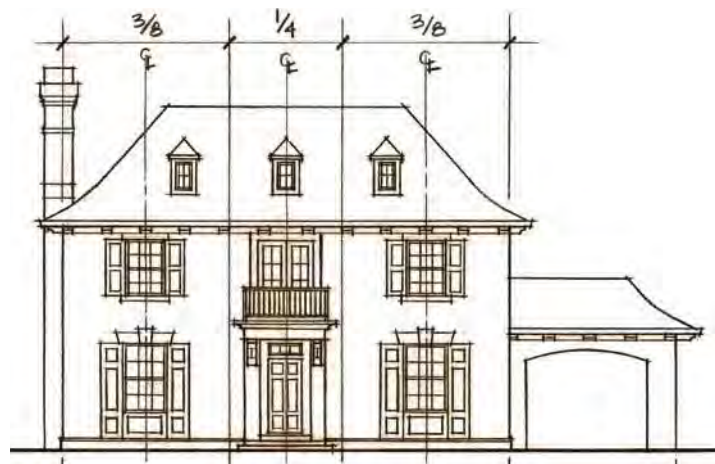
**Color** For all lot types, no single family detached dwellings with the same color scheme shall be plotted adjacent to each other or directly across the street from each other. For row houses and neighborhood apartments, buildings with the same color scheme may be plotted on adjacent blocks.

Color palette for each Architectural Style shall be approved prior to building permit issuance and is subject to the Rules of Adjacencies.

**Plot Plan Requirement** Prior to building permit issuance, a plot plan is required showing all of the types of lots or uses, on which a builder plans to build, in the approved Specific Area Plan. The plot plan shall indicate the type of floor plan for single family detached dwellings and the floor plan composite configuration for row houses and neighborhood apartments for each lot or location. The plan shall also indicate the proposed Architectural Style for each lot or land use.







Villebois

FRENCH REVIVAL

AMERICAN CLASSIC

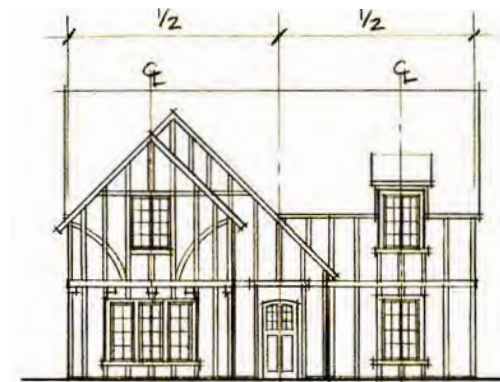
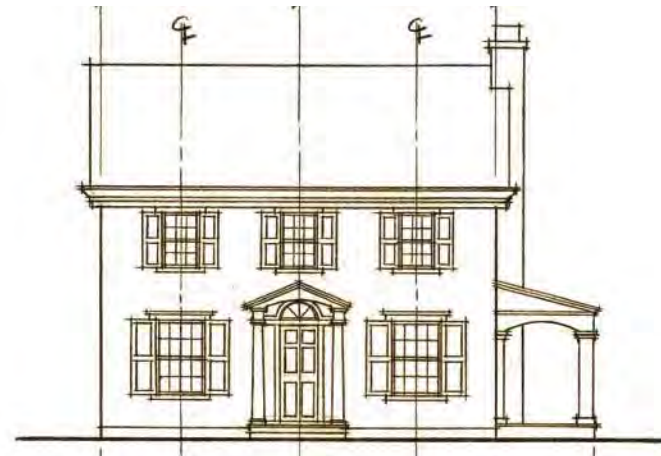
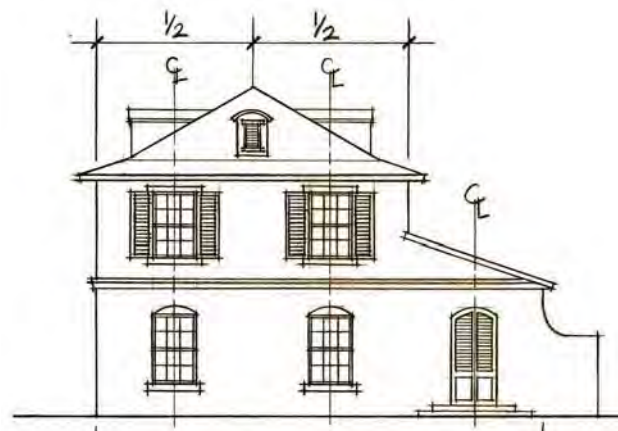
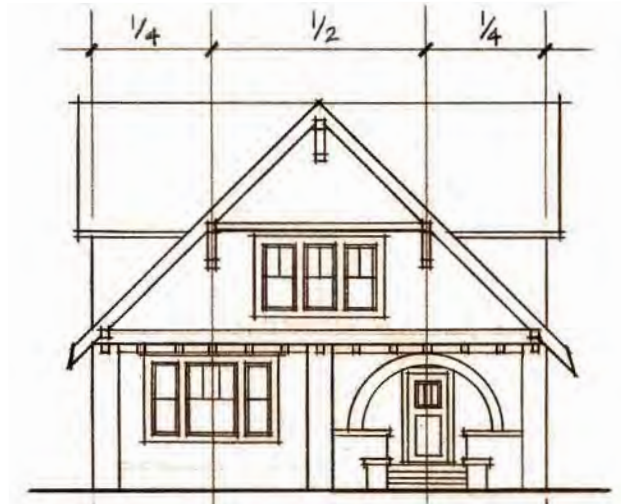
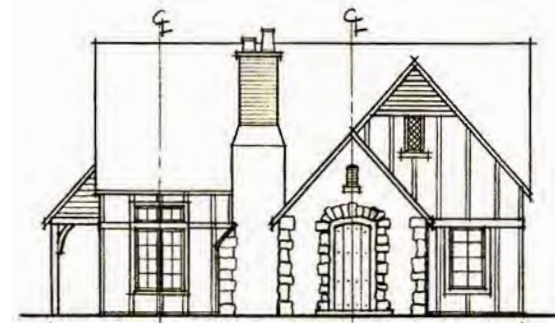
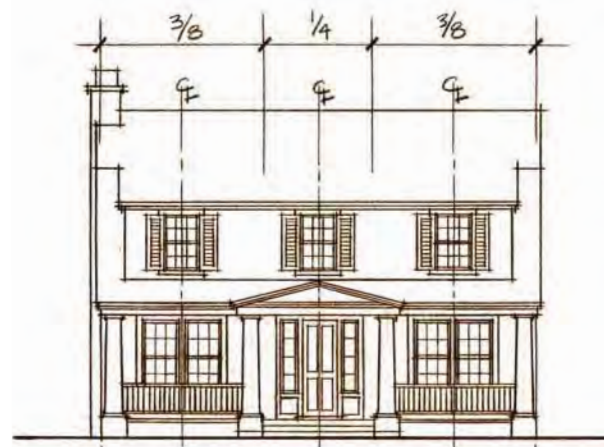
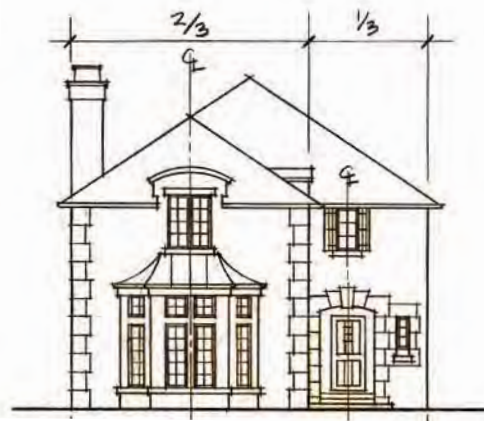
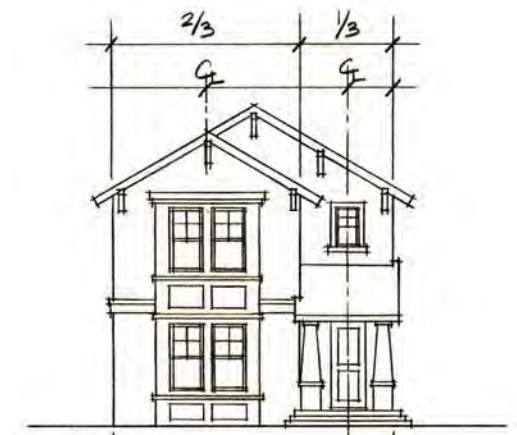
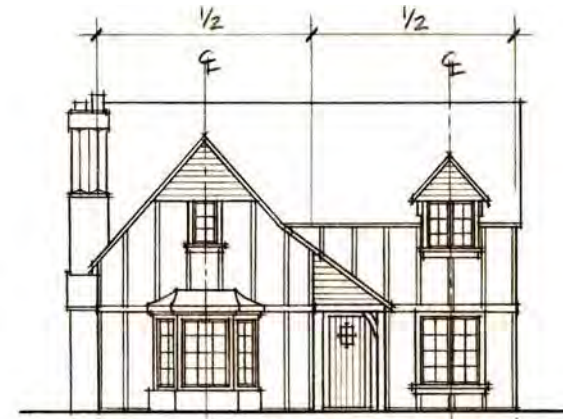
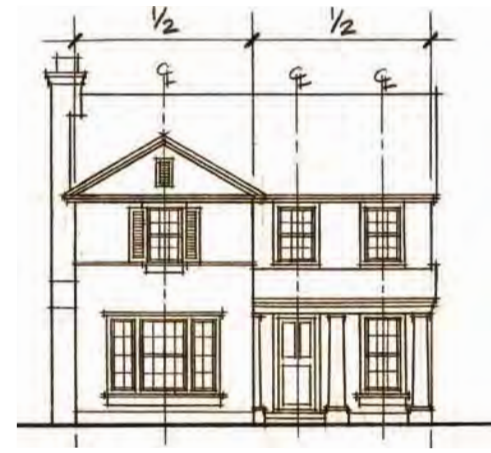
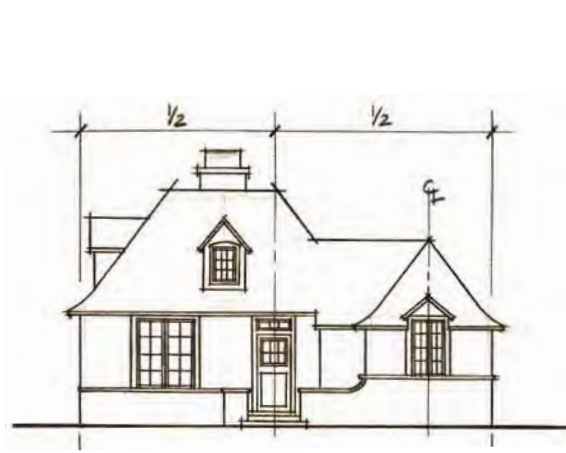
ENGLISH REVIVAL

AMERICAN MODERN

STANDARD AND LARGE DETACHED

SCALE & PROPORTIONS





Villebois

FRENCH REVIVAL

AMERICAN CLASSIC

ENGLISH REVIVAL

AMERICAN MODERN

SMALL COTTAGES, SMALL, AND MEDIUM DETACHED

SCALE & PROPORTIONS





FRENCH REVIVAL



AMERICAN CLASSIC



ENGLISH REVIVAL



AMERICAN MODERN

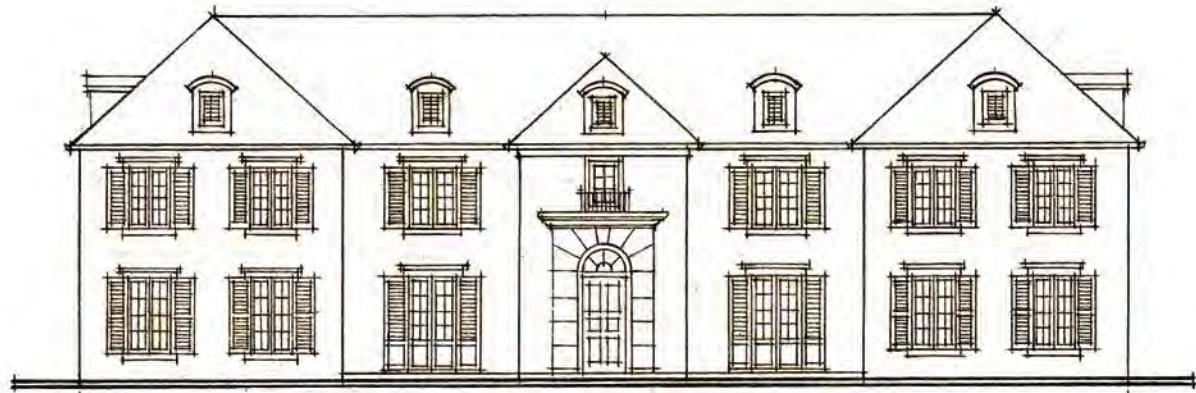


ROW HOUSES

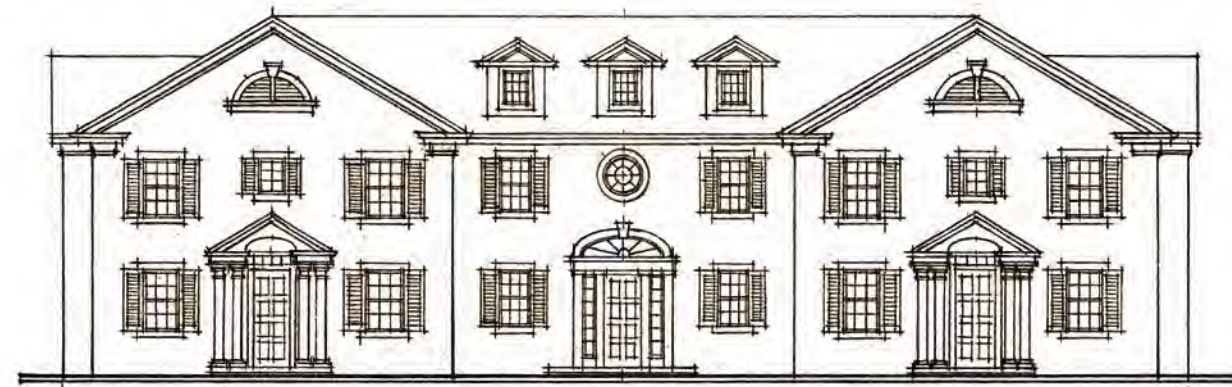
© 2004 Iverson Architects

# SCALE & PROPORTIONS





FRENCH REVIVAL



AMERICAN CLASSIC



ENGLISH REVIVAL



AMERICAN MODERN



NEIGHBORHOOD APARTMENTS

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SCALE & PROPORTIONS



NOTES: See Fence Lot Diagrams for Clarification

1. Fence or wall height shall be measured from nearest grade in the yard of the lot with the higher grade.
2. A transparent fence has at least 50% of vertical surface open.
3. Fences located within the 2' setback from front or side street property lines adjacent to sidewalks must be transparent. The transparent fence may have a solid base, maximum height of base is 12". Maximum height of fence is 3'-0", minimum height of transparent fences is 2'-0" high.
4. A solid (non-transparent) fence or wall may be constructed in the front yard to a height of 3'-0" with a minimum 2'-0" offset from the front and side street property lines; for front-loaded Single Family Detached lots it may be constructed on the interior shared side property line. Minimum height of solid fences is 1'-6".
5. Front-loaded Single Family Detached lots and Row house buildings may construct a solid fence or wall in the interior side yard on the shared side property line to a height of 6'-0", with a minimum 4'-0" offset behind the front building line of the dwelling, or behind a significant architectural feature if there is one within the first 8'-0".
6. A transparent or solid fence or wall may be constructed in the side street yard to a maximum height of 6'-0", with a minimum 2'-0" offset from the side street property line.
7. A solid or transparent fence may be constructed in the rear yard on the rear property line of street-loaded lots, maximum height is 6'-0".
8. A solid or transparent fence or wall may be constructed in the rear yard of alley-loaded lots a minimum of 2'-0" behind the rear building line, maximum height is 6'-0".
9. Houses on alley-loaded lots with the garage set back behind a covered porch may construct a solid or transparent fence or wall in the rear yard with a minimum 3'-0" of landscaping adjacent to alley R.O.W., maximum height is 6'-0". Because of this unique fence condition, alley trees are required.
10. Posts, pilasters, columns, or bollards may extend an additional 8" above the maximum height of the fence or wall unless otherwise noted.
11. Fences/walls may not change height at corners, they must transition in height along side or front fences/walls. See Height Transitions diagram page E21.
12. Fences and walls to have level top surfaces, they may transition in height at posts to maintain maximum height, as required by changes in grade elevation. See Height Transitions diagram page E21.
13. Enhanced view fences or privacy fences with landscaping are located on the project perimeter along rear or side property lines. They have 1'-6" square masonry columns on the perpendicular lot lines, and additionally at the mid-point between the lot lines if the distance between them is greater than 65'. See locations pages E3-E4 and drawings page E10-E11.
14. Lots with side or rear elevations facing onto SROZ open space will have full view fences with 6" square metal posts at perpendicular lot lines and additionally as needed for support. These full view fences are to be painted black. See locations pages E3-E4 and drawing page E12.
15. Lots with side or rear elevations facing onto non-SROZ open space must use the same fencing as street facing elevations.
16. All construction must be of good quality and sufficient durability with an approved paint, weathering stain, and/or sealant to minimize water staining. See page E2.
17. Houses without a stoop, portico, or porch must have a terrace or courtyard.
18. See examples of Community Fencing designs pages E5-E12; Residential Fencing designs pages E22-E27.
19. Except where specifically required in the Pattern Book, fences are optional. All diagrams illustrate the maximum allowable extent of fencing conditions, less fencing is allowed.
20. If a conflict exists between the Master Fencing Program and other sections of the Pattern Book, then the Master Fencing Program takes precedence.
21. The Fencing Program does not regulate the signage to be placed on the monument fencing elements. For specifications regarding the signage elements, see the Master Signage and Wayfinding Plan adopted for the SAP.





ALLOWABLE MATERIALS






- Stucco
- Wood or wood polymer pickets
- Cedar or wood polymer boards
- Metal
- Masonry: concrete, brick, stone (quarried or manufactured)
- Precast concrete trim and veneer
- Concrete block - split faced
- Cast-in-place concrete with textured finish

COLORS Refer to Color Key below

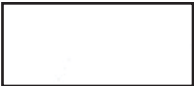



- |                    |          |                                    |
|--------------------|----------|------------------------------------|
| French Revival -   | Metal:   | 2, 3, 6                            |
|                    | Wood:    | A, D, or match body color          |
|                    | Stucco:  | Match body color of building       |
|                    | Masonry: | Match building                     |
| American Classic - | Metal:   | 1, 2, 4                            |
|                    | Wood:    | A, B, C, D, E, or match body color |
|                    | Stucco:  | Match body color of building       |
|                    | Masonry: | Match building                     |
| English Revival -  | Metal:   | 2, 3, 4                            |
|                    | Wood:    | A, C, D, E, or match body color    |
|                    | Stucco:  | Match body color of building       |
|                    | Masonry: | Match building                     |
| American Modern -  | Metal:   | 2, 3, 4, 5                         |
|                    | Wood:    | A, C, D, E, or match body color    |
|                    | Stucco:  | Match body color of building       |
|                    | Masonry: | Match building                     |

COLOR KEY

PAINTS: Benjamin Moore or equivalent - refer to actual color samples

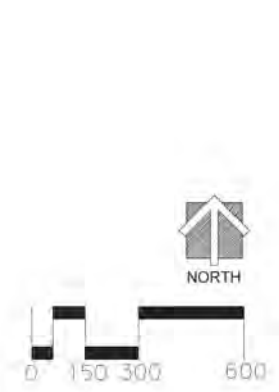
- |                           |   |
|---------------------------|---|
| 1) Brilliant White        |  |
| 2) Black                  |  |
| 3) North Creek Brown 1001 |  |
| 4) Tarrytown Green HC-134 |  |
| 5) Newburg Green HC-158   |  |
| 6) Fort Pierce Green 712  |  |

STAINS: Olympic or equivalent - refer to actual color samples

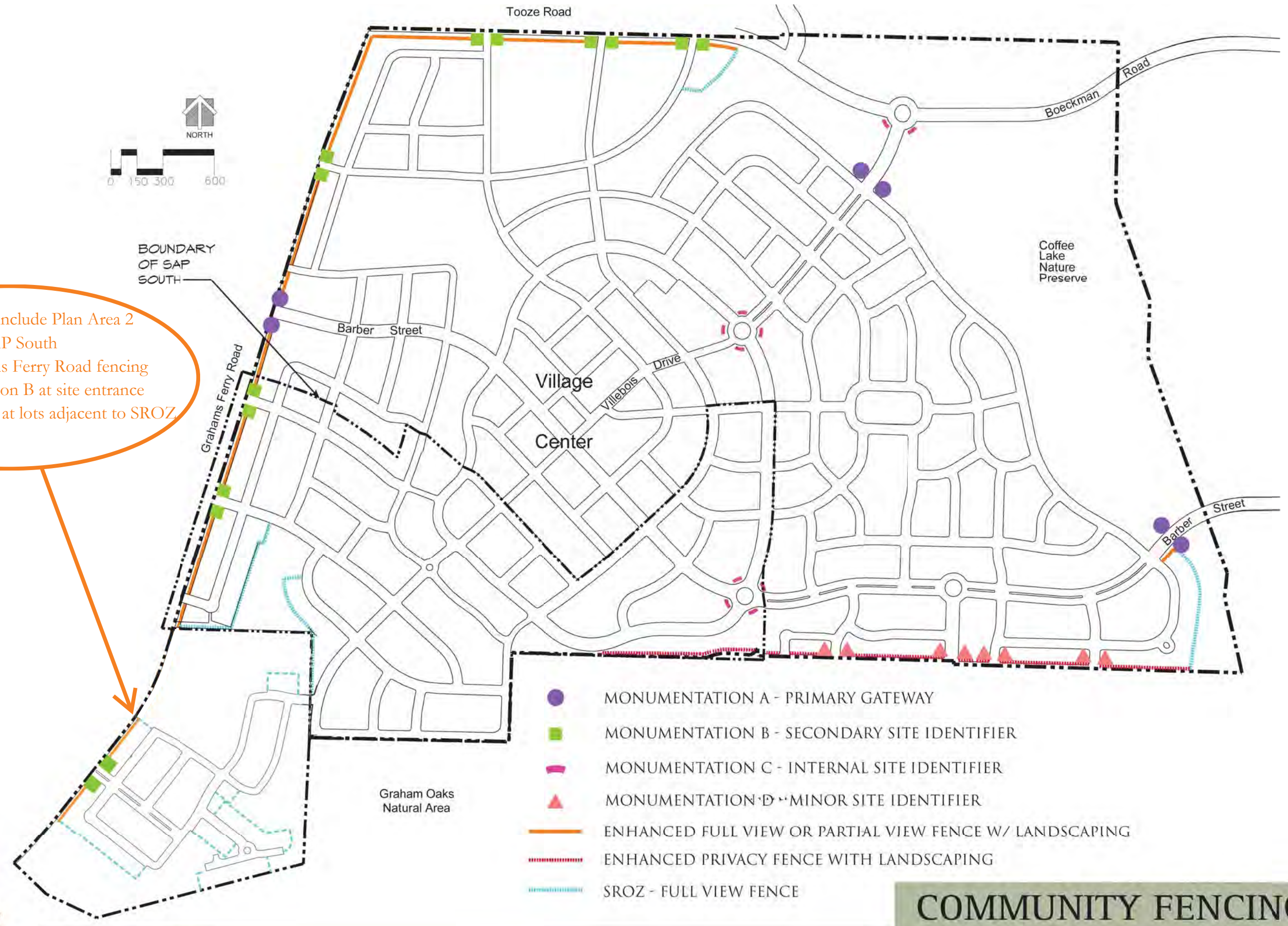
- |   |   |
|---|---|
| A) Weathering Stain (naturally weathered, silver-gray finish) |   |
| B) Solid Color Stain - White                                  |  |
| C) Semi-transparent Stain: 909 Light Oak                      |  |
| D) Semi-transparent Stain: 916 Driftwood Gray                 |  |
| E) Semi-transparent Stain: 725 Dark Oak                       |  |














Update map to include Plan Area 2 in SAP South  
 -continue Grahams Ferry Road fencing and monumentation B at site entrance  
 -show SROZ Fencing at lots adjacent to SROZ



-  MONUMENTATION A - PRIMARY GATEWAY
-  MONUMENTATION B - SECONDARY SITE IDENTIFIER
-  MONUMENTATION C - INTERNAL SITE IDENTIFIER
-  MONUMENTATION D - MINOR SITE IDENTIFIER
-  ENHANCED FULL VIEW OR PARTIAL VIEW FENCE W/ LANDSCAPING
-  ENHANCED PRIVACY FENCE WITH LANDSCAPING
-  SROZ - FULL VIEW FENCE



# COMMUNITY FENCING



\* TO BE BUILT WITH  
ULTIMATE ROUNDABOUT  
CONSTRUCTION

Update map to include Plan Area 2  
in SAP South  
-continue Grahams Ferry Road fencing  
and monumentation B at site entrance  
-show SROZ Fencing at lots adjacent to SROZ



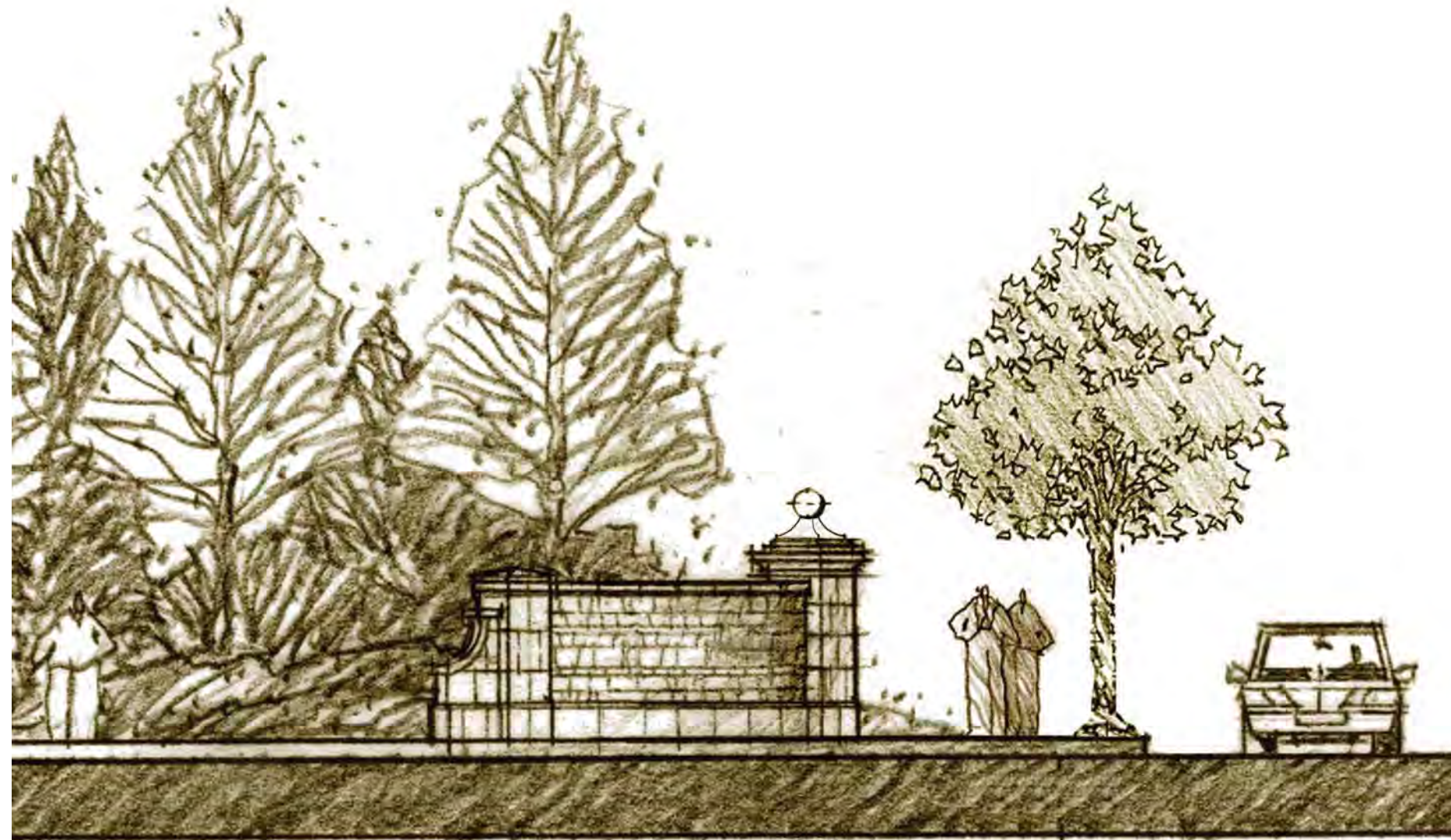
- MONUMENTATION B - SECONDARY SITE IDENTIFIER
- MONUMENTATION C - INTERNAL SITE IDENTIFIER
- ENHANCED FULL VIEW OR PARTIAL VIEW FENCE W/ LANDSCAPING
- ENHANCED PRIVACY FENCE WITH LANDSCAPING
- SROZ - FULL VIEW FENCE



SAP SOUTH LOCATIONS

# COMMUNITY FENCING





OPPOSITE SIDE OF STREET IS A  
MIRROR IMAGE OF THIS SIDE



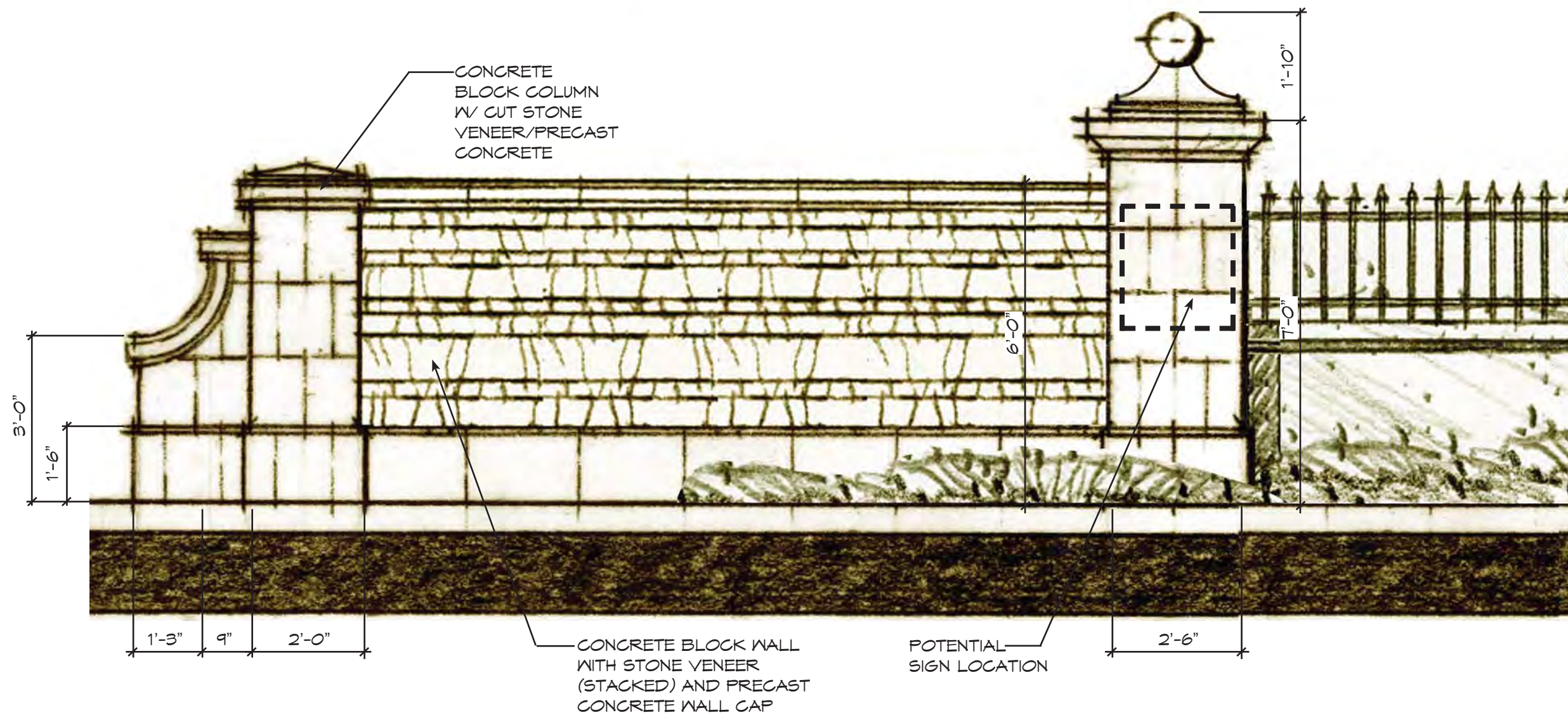
## MONUMENTATION B - SECONDARY SITE IDENTIFIER

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## COMMUNITY FENCING

Fencing E5

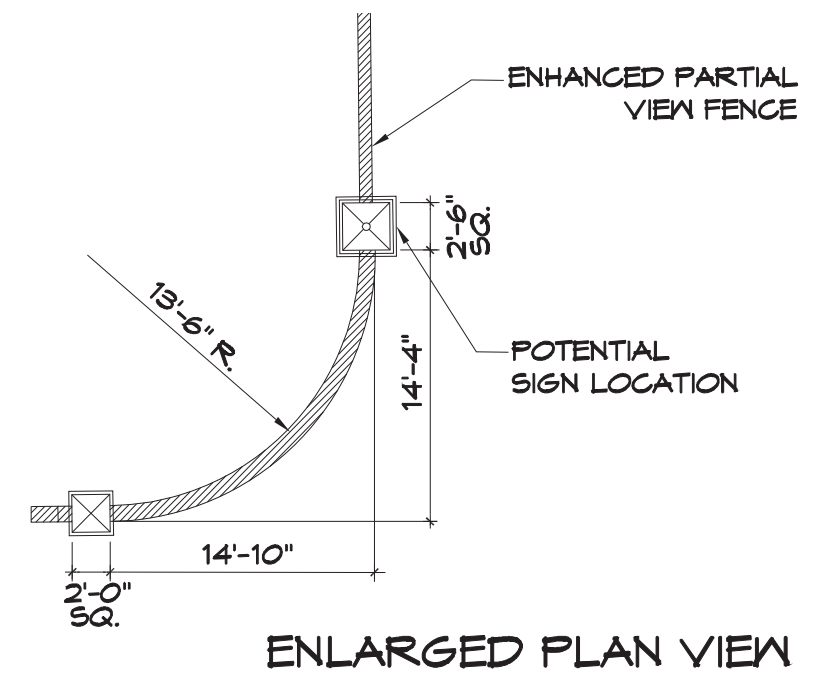
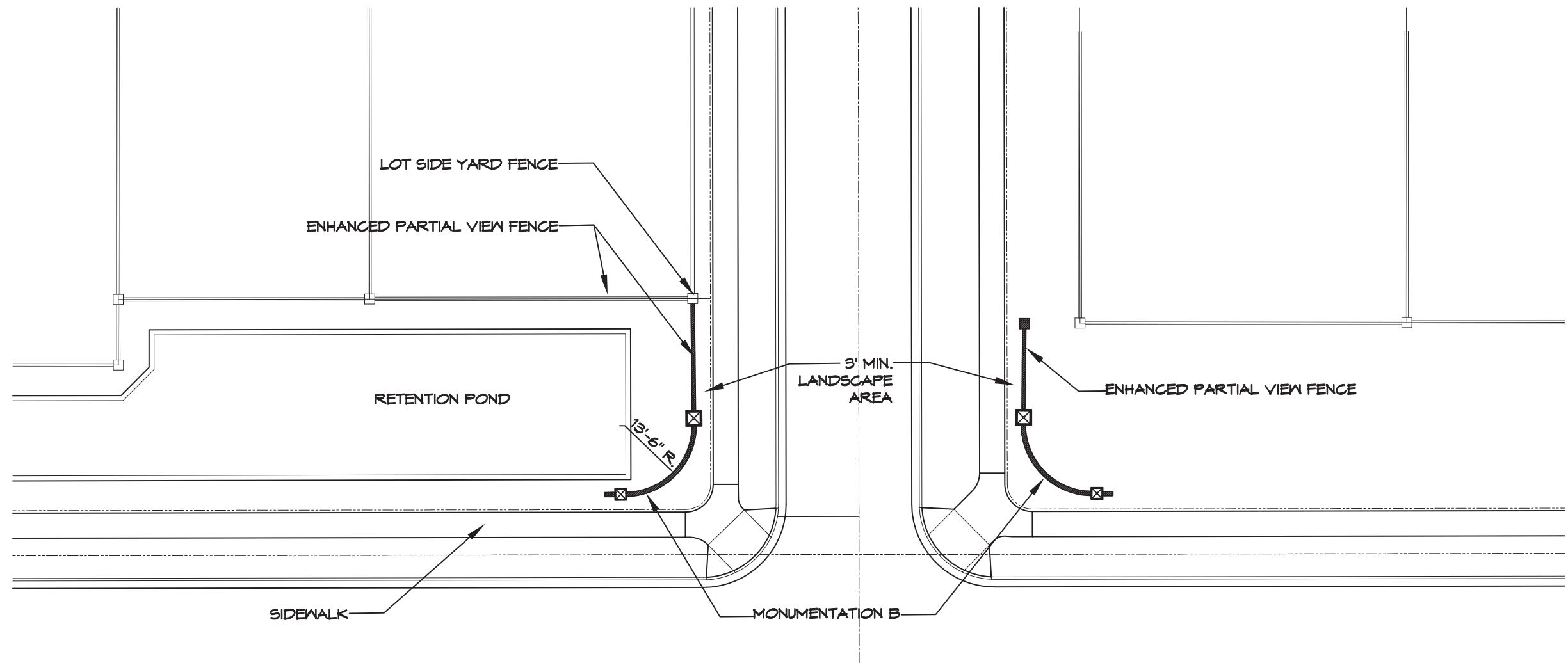




MONUMENTATION B - SECONDARY SITE IDENTIFIER

COMMUNITY FENCING

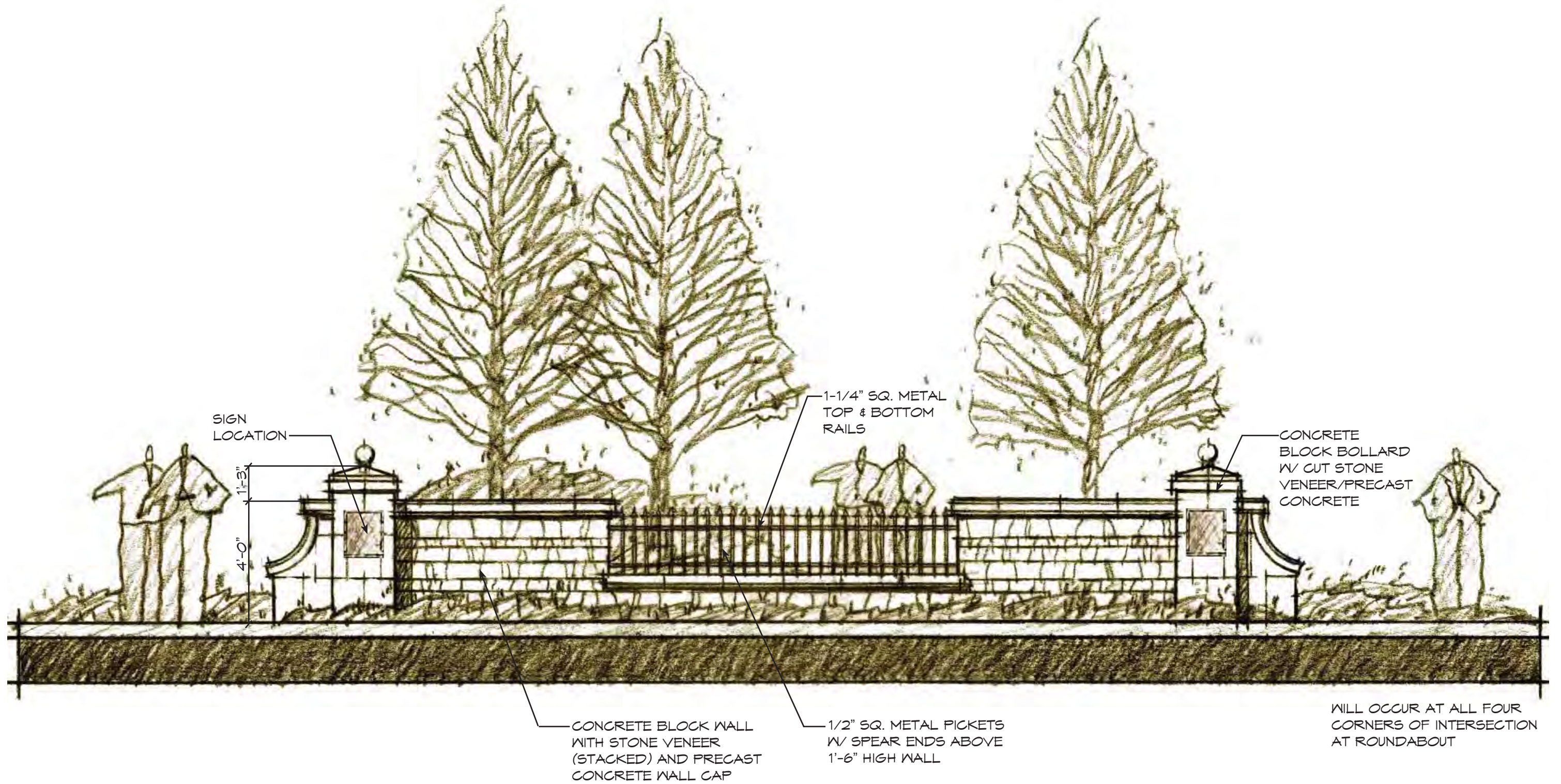




MONUMENTATION B - PLAN VIEW

COMMUNITY FENCING





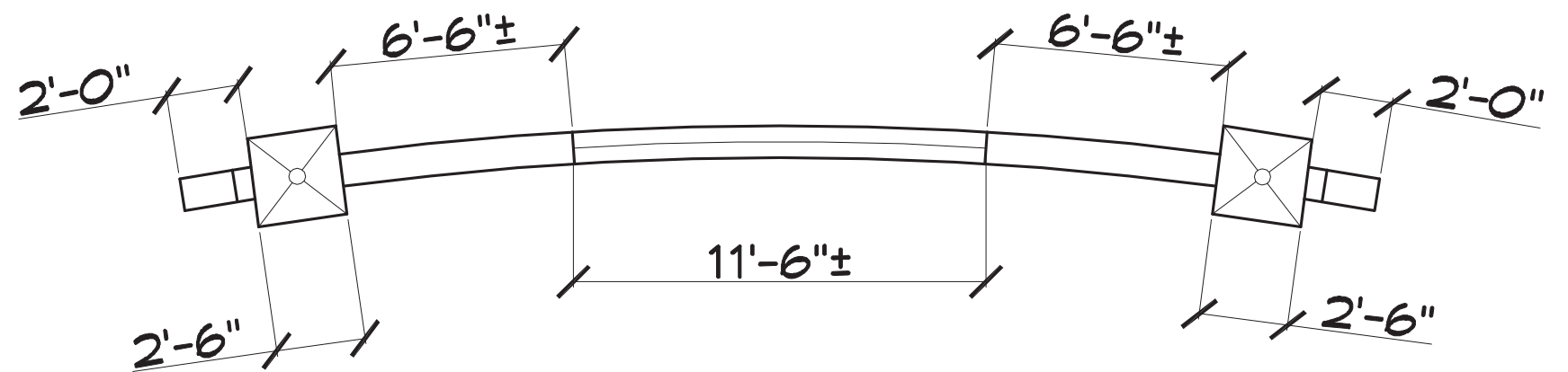
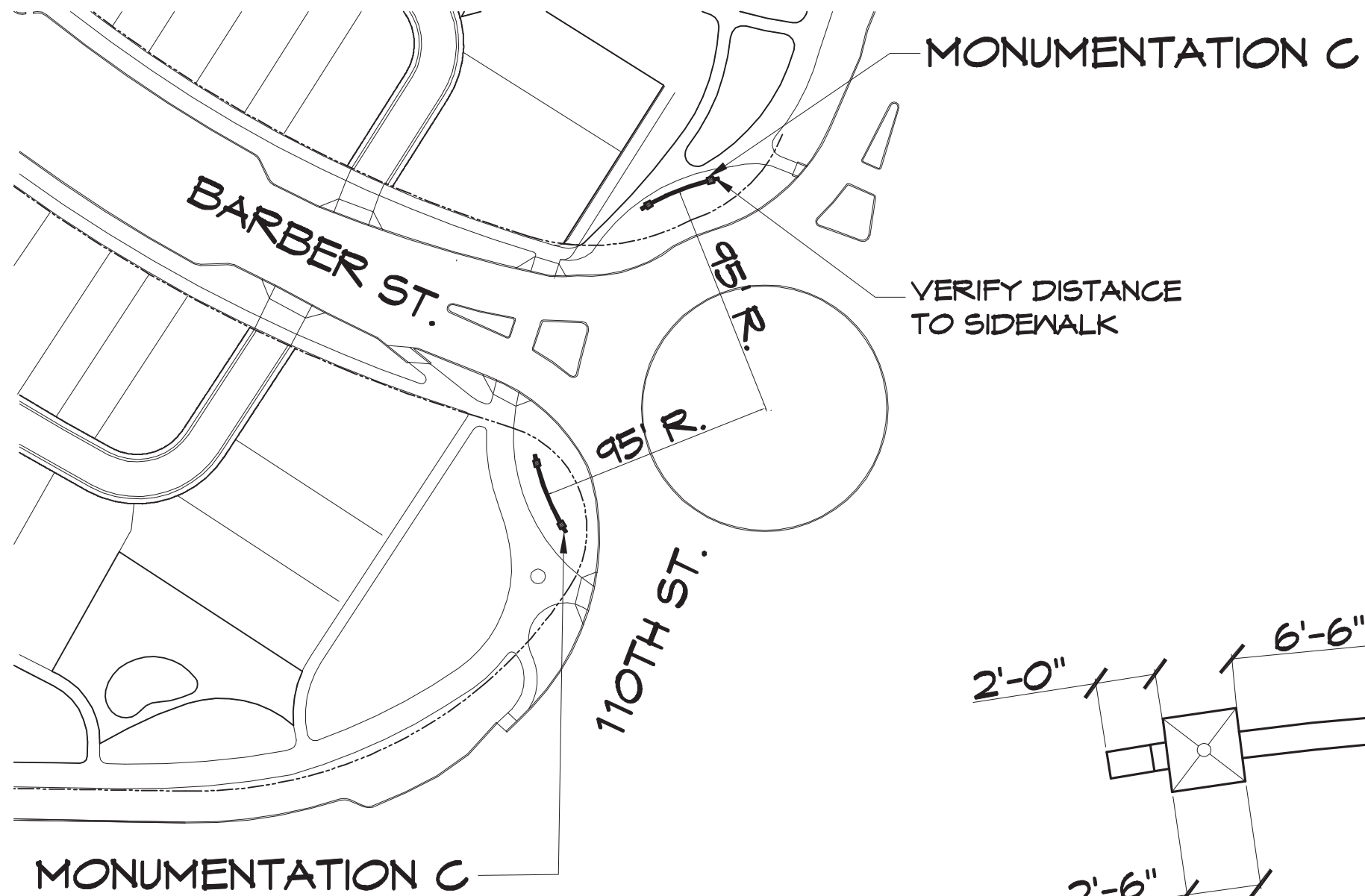
## MONUMENTATION C - INTERNAL SITE IDENTIFIER

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## COMMUNITY FENCING

Fencing E8





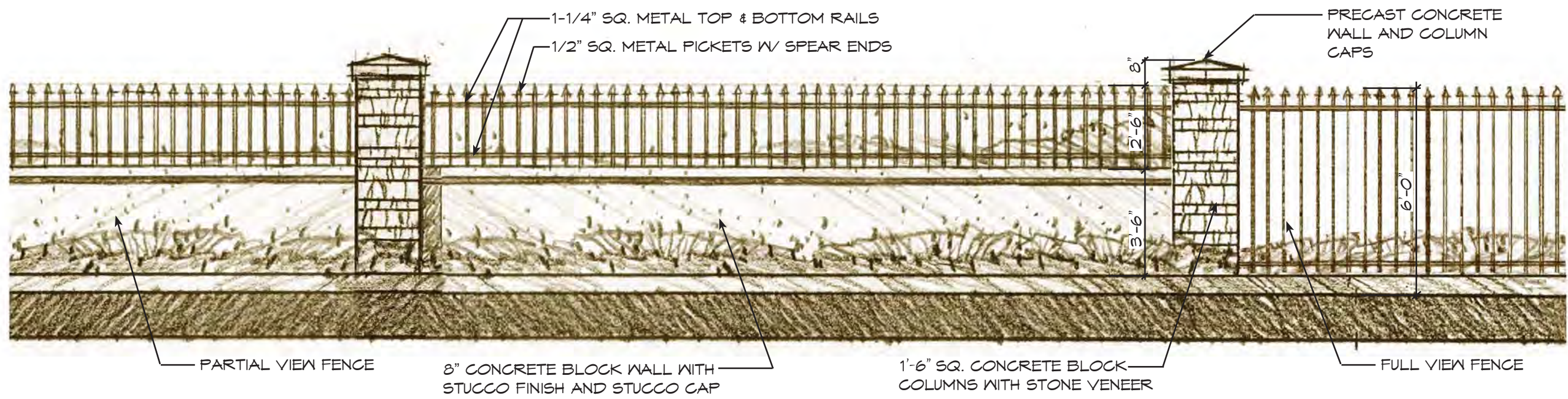
ENLARGED PLAN VIEW



MONUMENTATION C PLAN VIEW

COMMUNITY FENCING

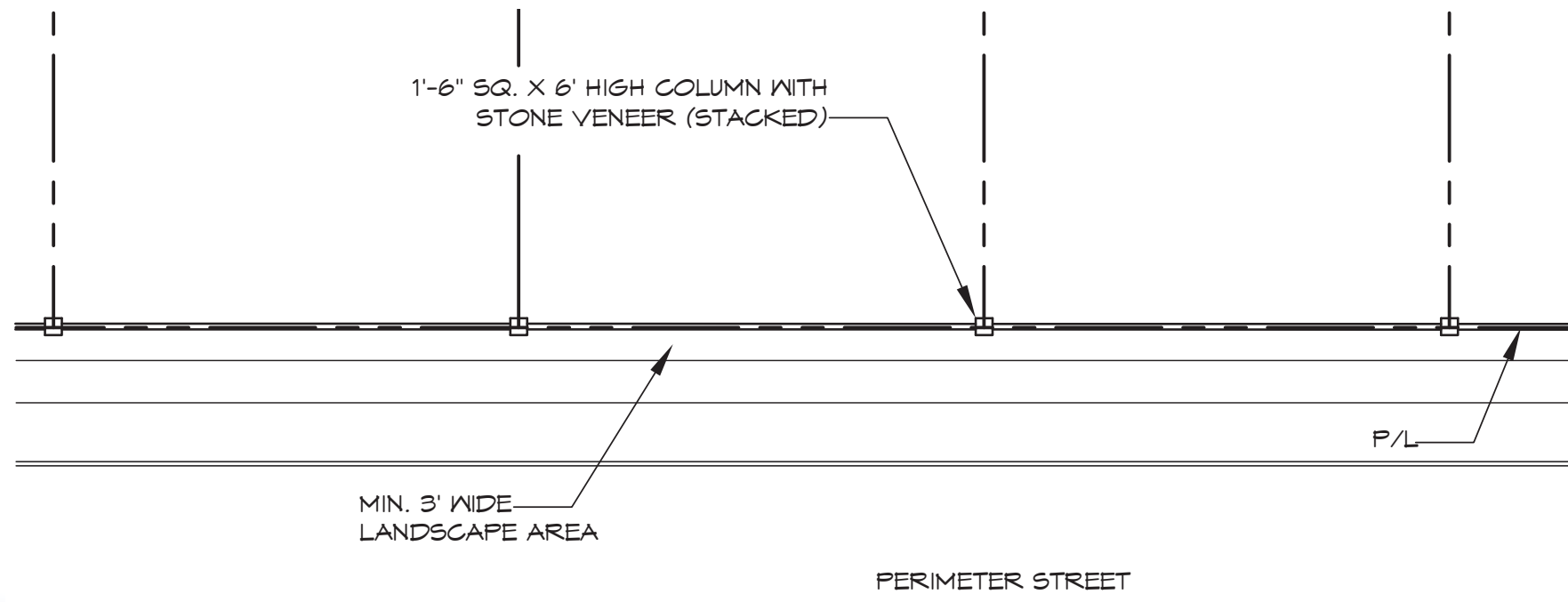




**NOTES**

ENHANCED FULL OR PARTIAL VIEW FENCES WITH LANDSCAPING ARE LOCATED ON THE PROJECT PERIMETER ALONG REAR OR SIDE PROPERTY LINES WHERE THERE ARE VIEW OPPORTUNITIES. THEY HAVE MASONRY COLUMNS 1'-6" SQ. CENTERED ON THE PERPENDICULAR LOT LINES, AND ADDITIONALLY AT THE MID-POINT BETWEEN THE LOT LINES IF THE DISTANCE BETWEEN THEM IS GREATER THAN 65'. THE FULL VIEW OR PARTIAL VIEW FENCE MAY BE CHOSEN DEPENDING ON PRIVACY REQUIREMENTS. ENHANCED FENCING MUST HAVE A MINIMUM 3' DEEP LANDSCAPE AREA ON THE STREET SIDE. SEE PAGE E3 AND E4 FOR LOCATIONS.

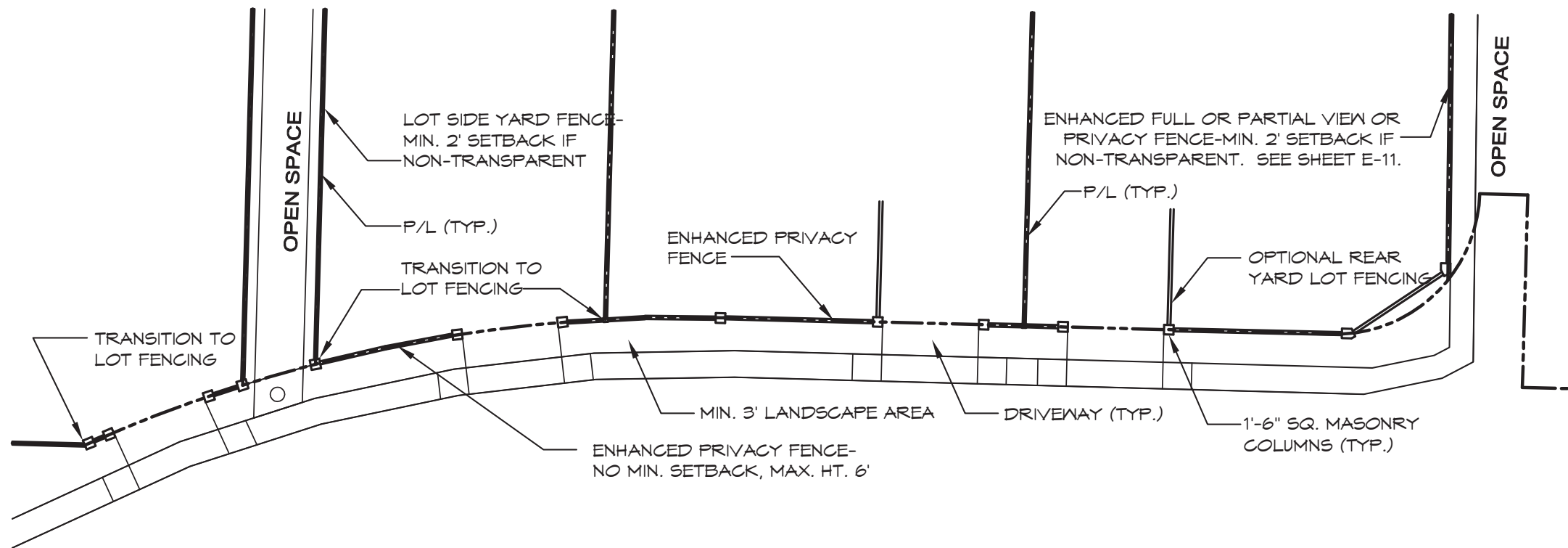
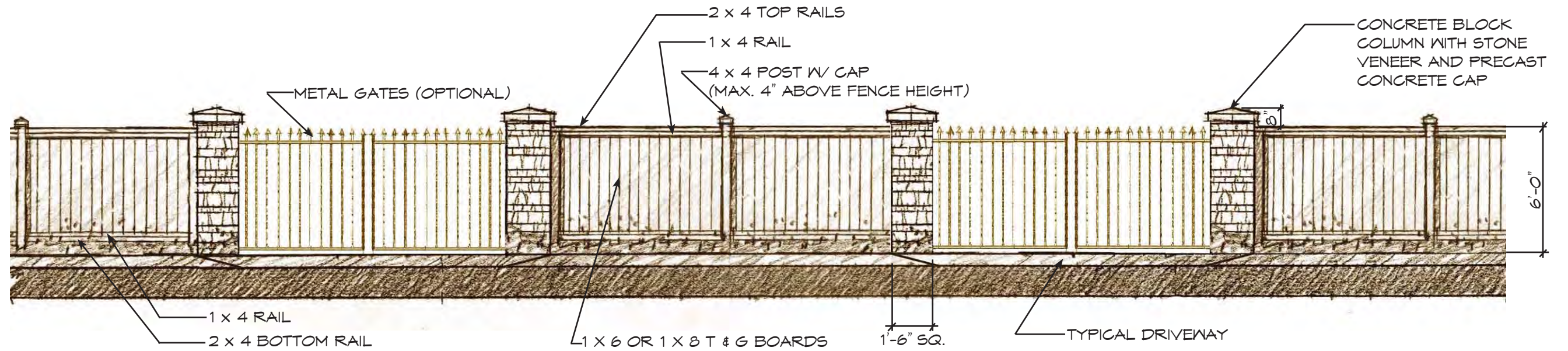
**ENHANCED VIEW OR PARTIAL VIEW FENCE**



**ENHANCED FENCING WITH LANDSCAPING**

**COMMUNITY FENCING**





**NOTES**

ENHANCED PRIVACY FENCES ARE LOCATED ON THE REAR LOT LINES OF REAR-LOADED LOTS TAKING GARAGE ACCESS FROM A PERIMETER STREET, AND MAY EXTEND TO ENCLOSE THE SIDE YARD IF IT IS ADJACENT TO PUBLIC OPEN SPACE. THEY HAVE 1'-6" SQ. MASONRY COLUMNS AT CORNER LOT LINES, DRIVEWAY OPENINGS AND AT THE MID-POINT OF THE RUN BETWEEN THE EDGE OF ONE DRIVEWAY AND THE NEXT. ENHANCED FENCING MUST HAVE A MINIMUM 3' DEEP LANDSCAPE AREA ON THE STREET SIDE. SEE PAGE E3-E4 FOR LOCATIONS.

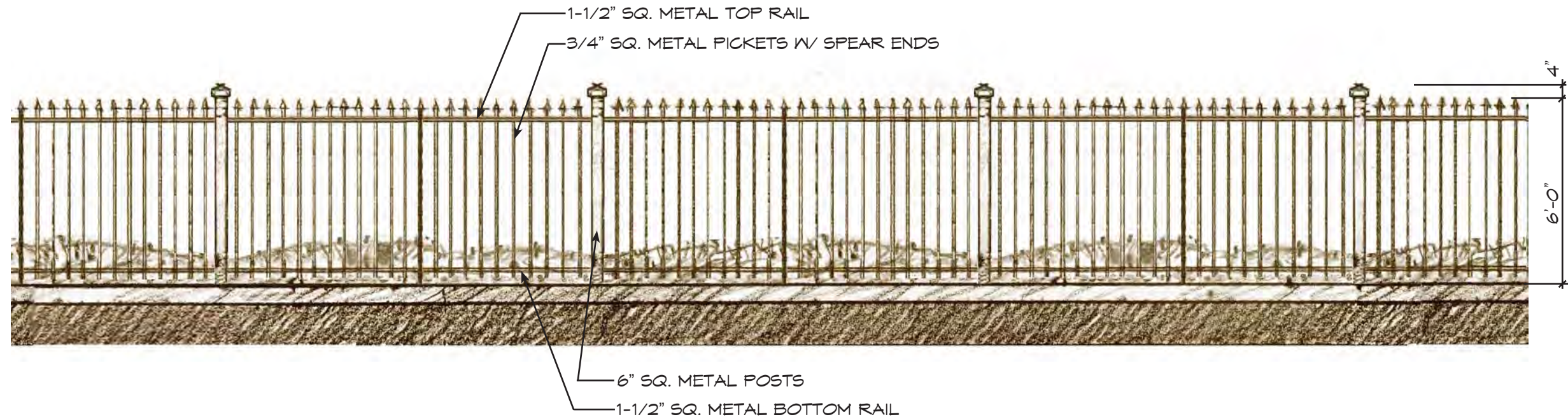
**ENHANCED PRIVACY FENCE W/ DRIVEWAY ACCESS**



**ENHANCED FENCING WITH LANDSCAPING**

**COMMUNITY FENCING**





NOTES

LOTS WITH SIDE OR REAR ELEVATIONS FACING ONTO SROZ OPEN SPACE WILL HAVE FULL VIEW FENCES WITH 6" SQUARE METAL POSTS AT PERPENDICULAR LOT LINES AND ADDITIONALLY AS NEEDED FOR SUPPORT. THESE FULL VIEW FENCES ARE TO BE PAINTED BLACK. SEE PAGE E3-E4 FOR LOCATIONS.

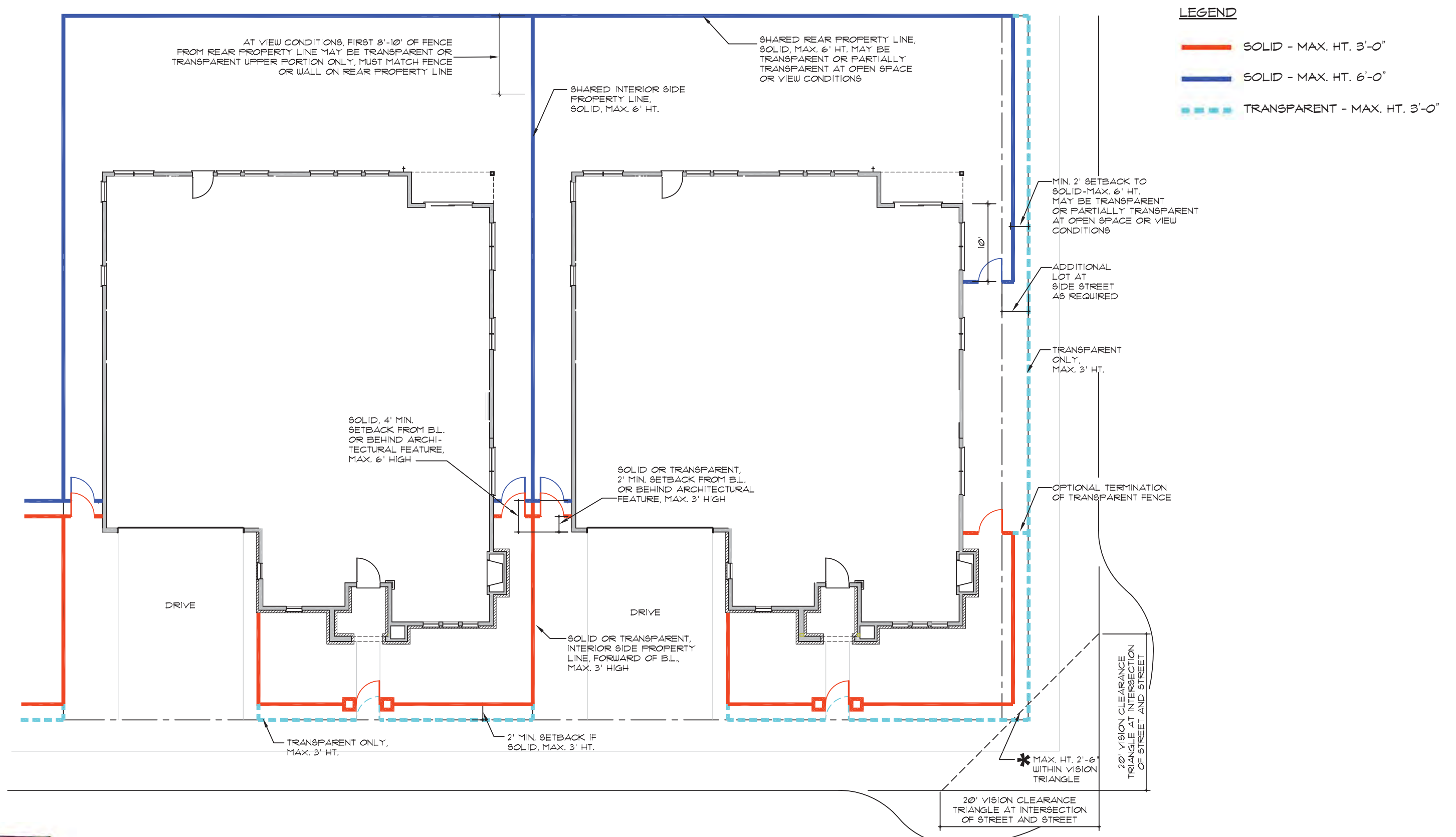
SROZ - FULL VIEW FENCE



ENHANCED FENCING

COMMUNITY FENCING





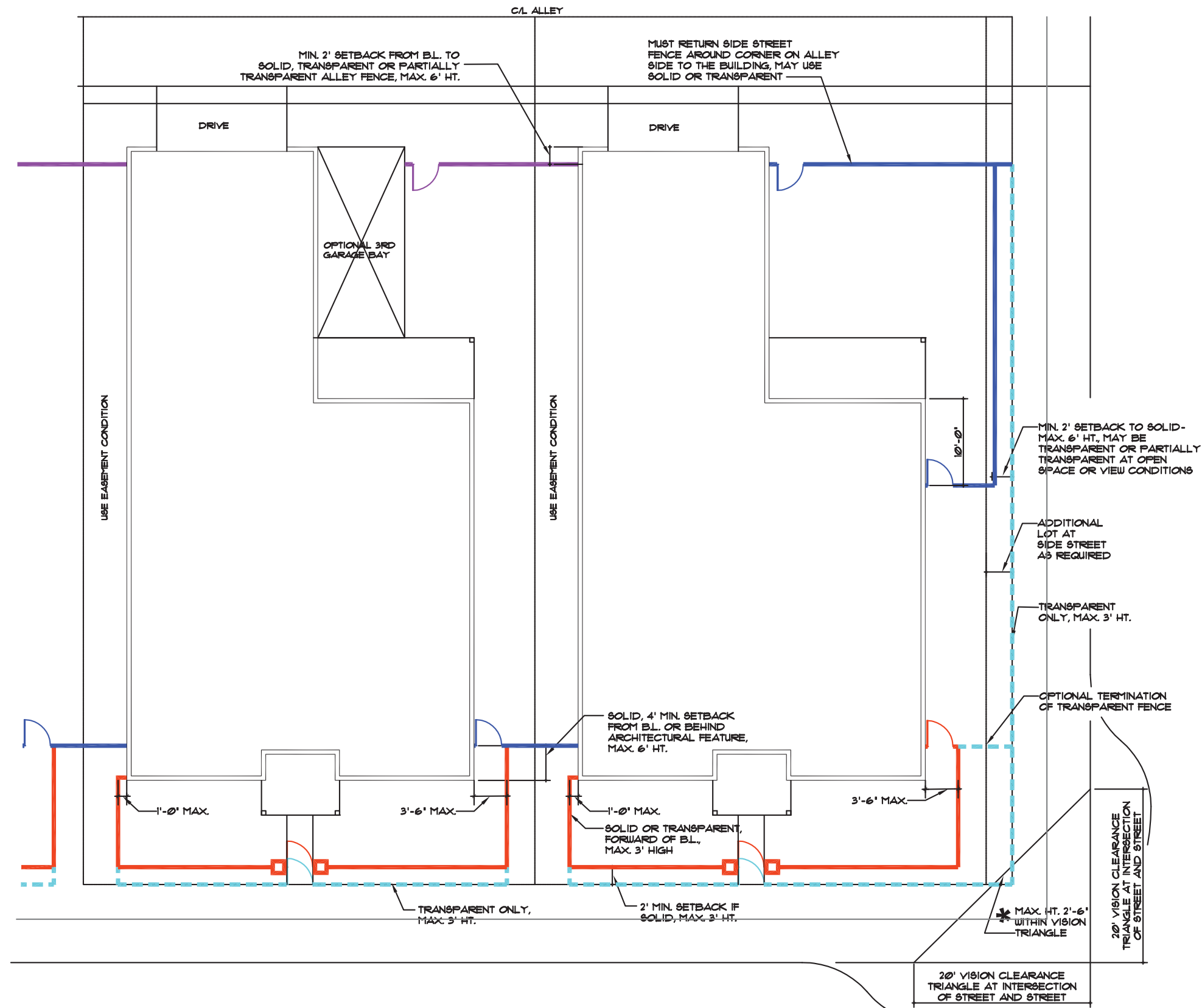
LARGE & MEDIUM LOTS - FRONT LOADED

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BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

FENCING LOT DIAGRAMS





**LEGEND**

- SOLID - MAX. HT. 3'-0"
- SOLID - MAX. HT. 6'-0"
- - - TRANSPARENT - MAX. HT. 3'-0"
- ALLEY - SOLID OR TRANSPARENT - MAX. HT. 6'-0"



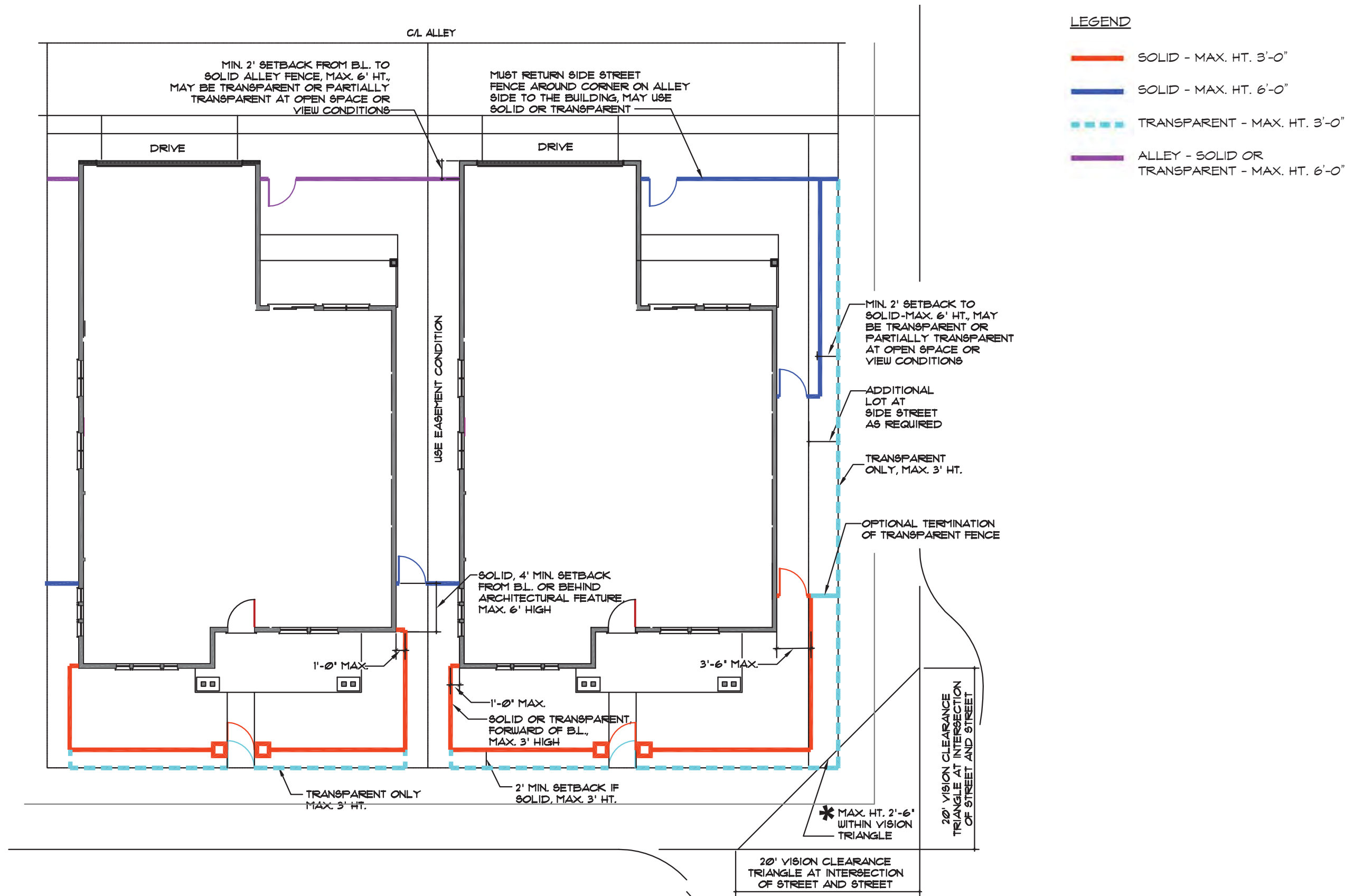
**STANDARD & MEDIUM LOTS - REAR LOADED**

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BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

**FENCING LOT DIAGRAMS**





- LEGEND**
- SOLID - MAX. HT. 3'-0"
  - SOLID - MAX. HT. 6'-0"
  - - - TRANSPARENT - MAX. HT. 3'-0"
  - ALLEY - SOLID OR TRANSPARENT - MAX. HT. 6'-0"



SMALL COTTAGE &  
SMALL LOTS - (COURTYARD CLASSIC)

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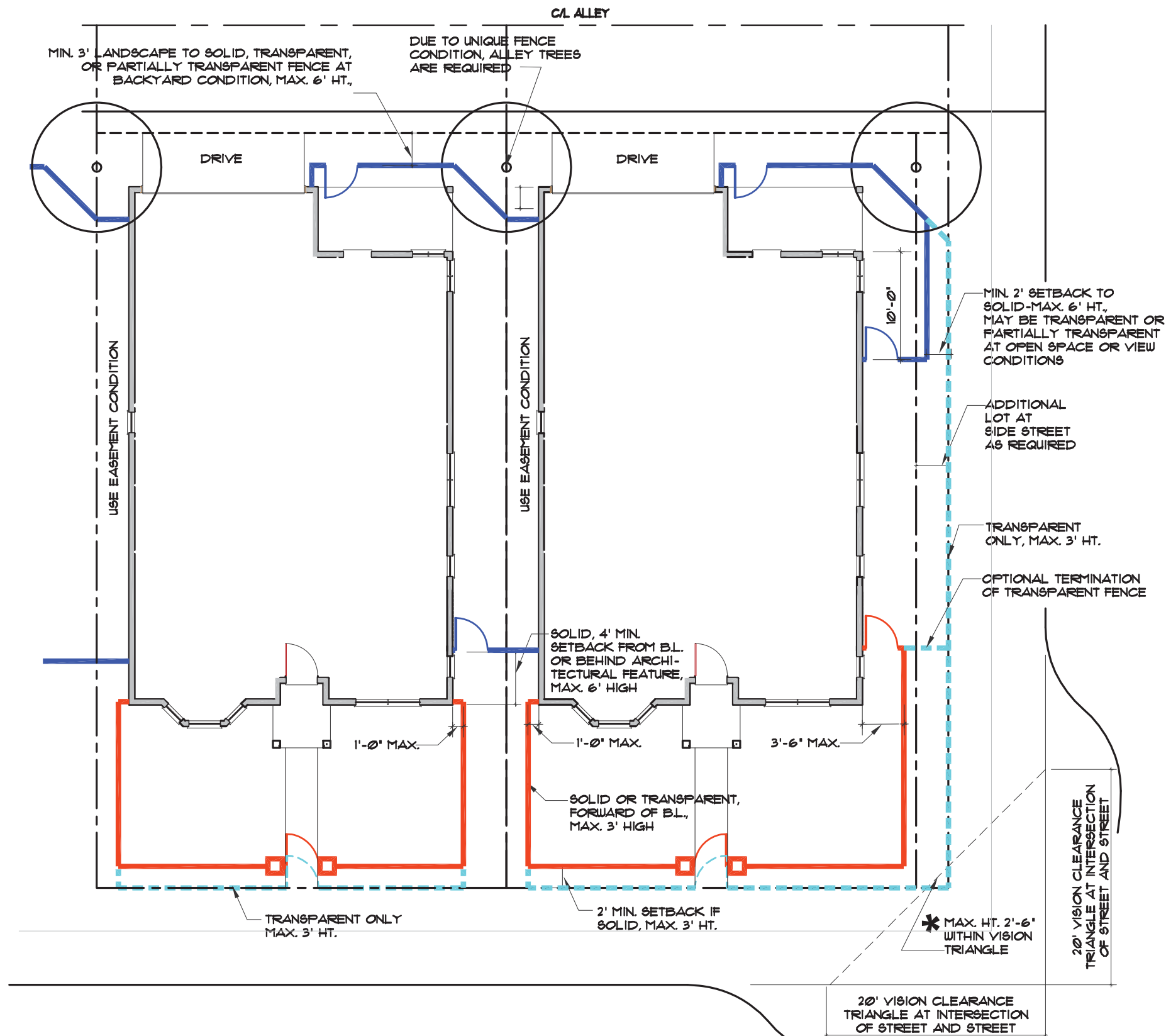
BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

**FENCING  
LOT DIAGRAMS**



**LEGEND**

- SOLID - MAX. HT. 3'-0"
- SOLID - MAX. HT. 6'-0"
- - - TRANSPARENT - MAX. HT. 3'-0"



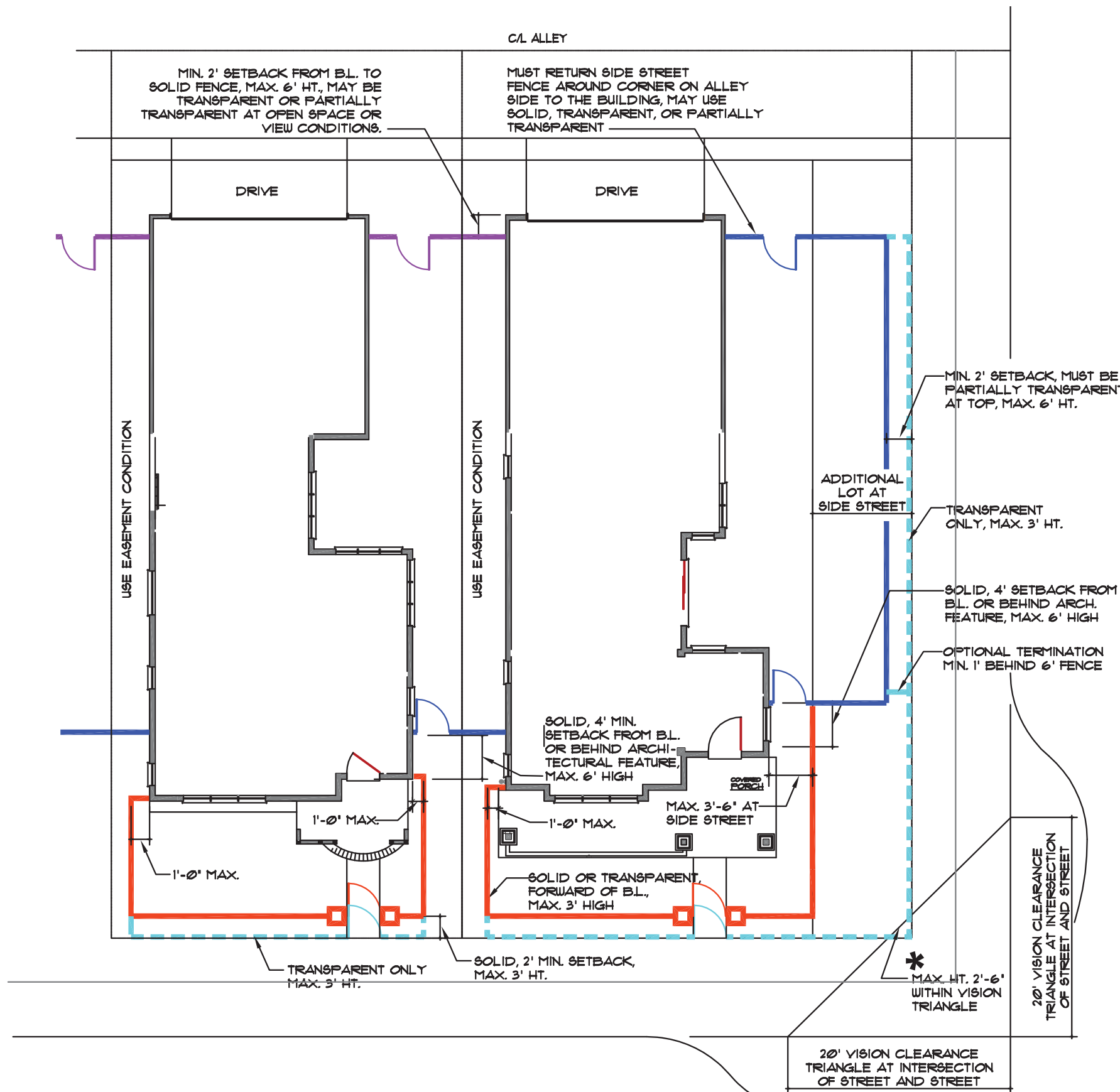
BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE



**SMALL COTTAGE & SMALL LOTS - (COTTAGE)**

**FENCING LOT DIAGRAMS**





- LEGEND**
- SOLID - MAX. HT. 3'-0"
  - SOLID - MAX. HT. 6'-0"
  - - - TRANSPARENT - MAX. HT. 3'-0"
  - ALLEY - SOLID OR TRANSPARENT - MAX. HT. 6'-0"



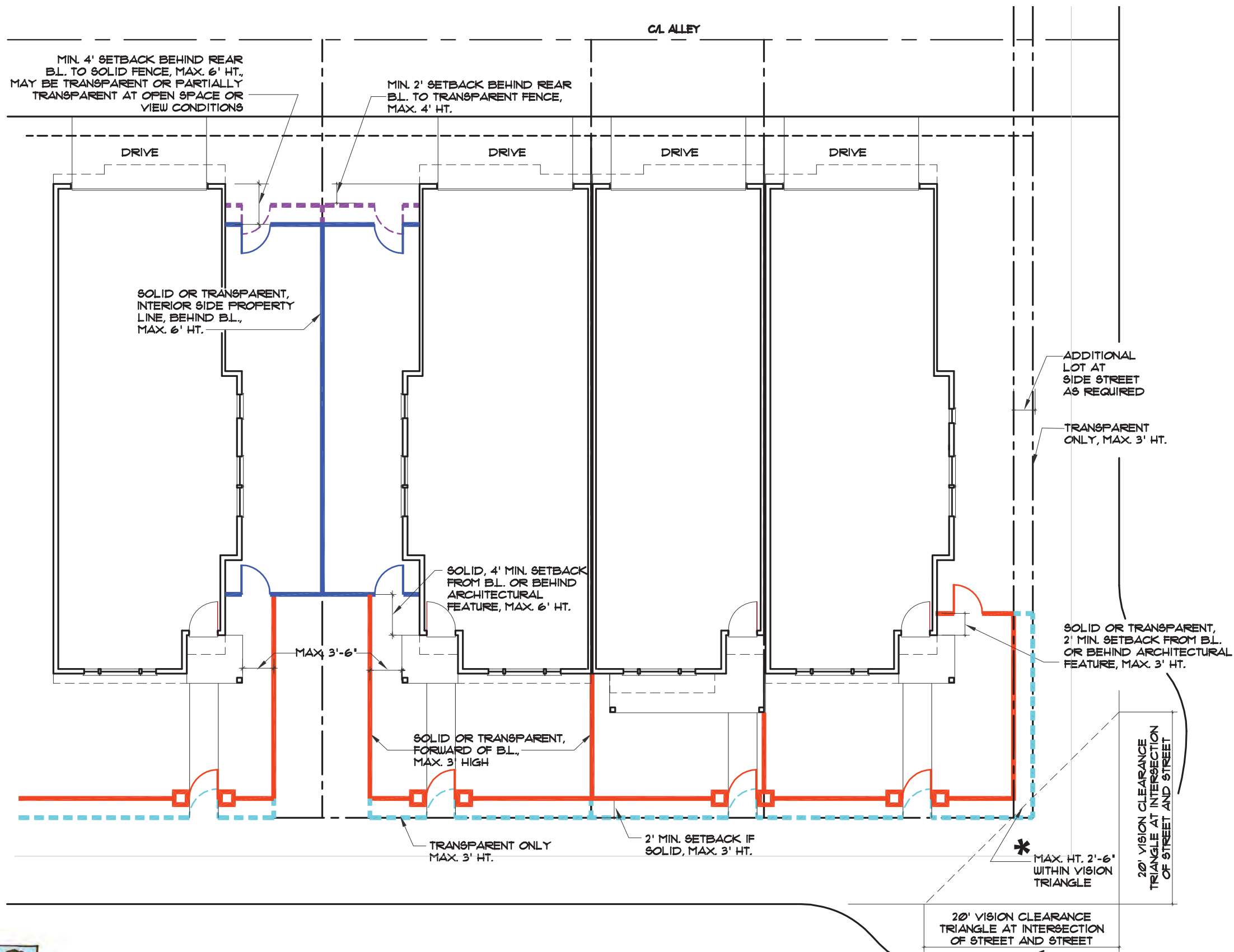
SMALL COTTAGE &  
SMALL LOTS - (TERRACE)

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BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

**FENCING  
LOT DIAGRAMS**





**LEGEND**

- SOLID - MAX. HT. 3'-0"
- SOLID - MAX. HT. 6'-0"
- - - TRANSPARENT - MAX. HT. 3'-0"
- ALLEY - SOLID OR TRANSPARENT - MAX. HT. 6'-0"



**ROW HOUSES**

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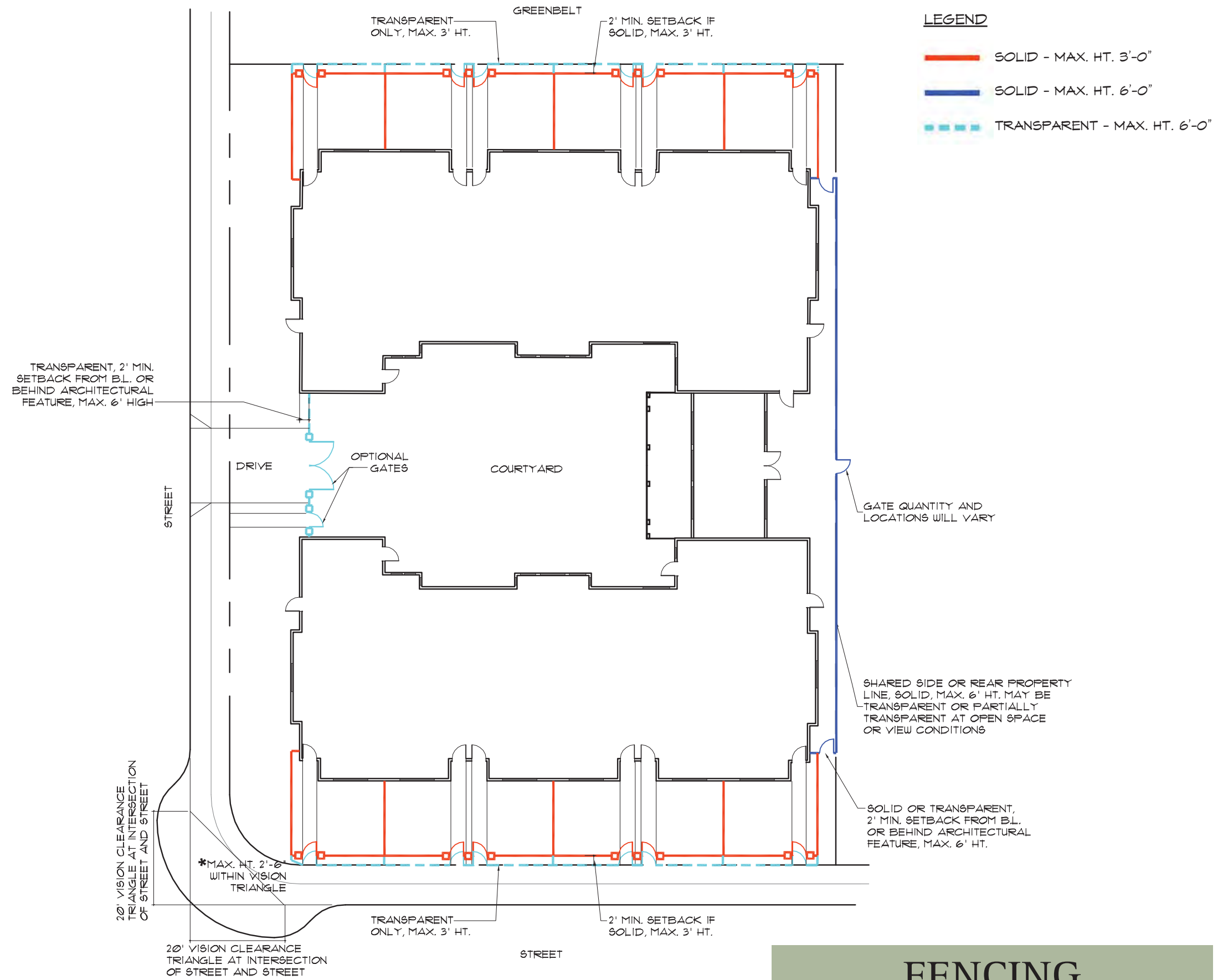
BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

**FENCING LOT DIAGRAMS**





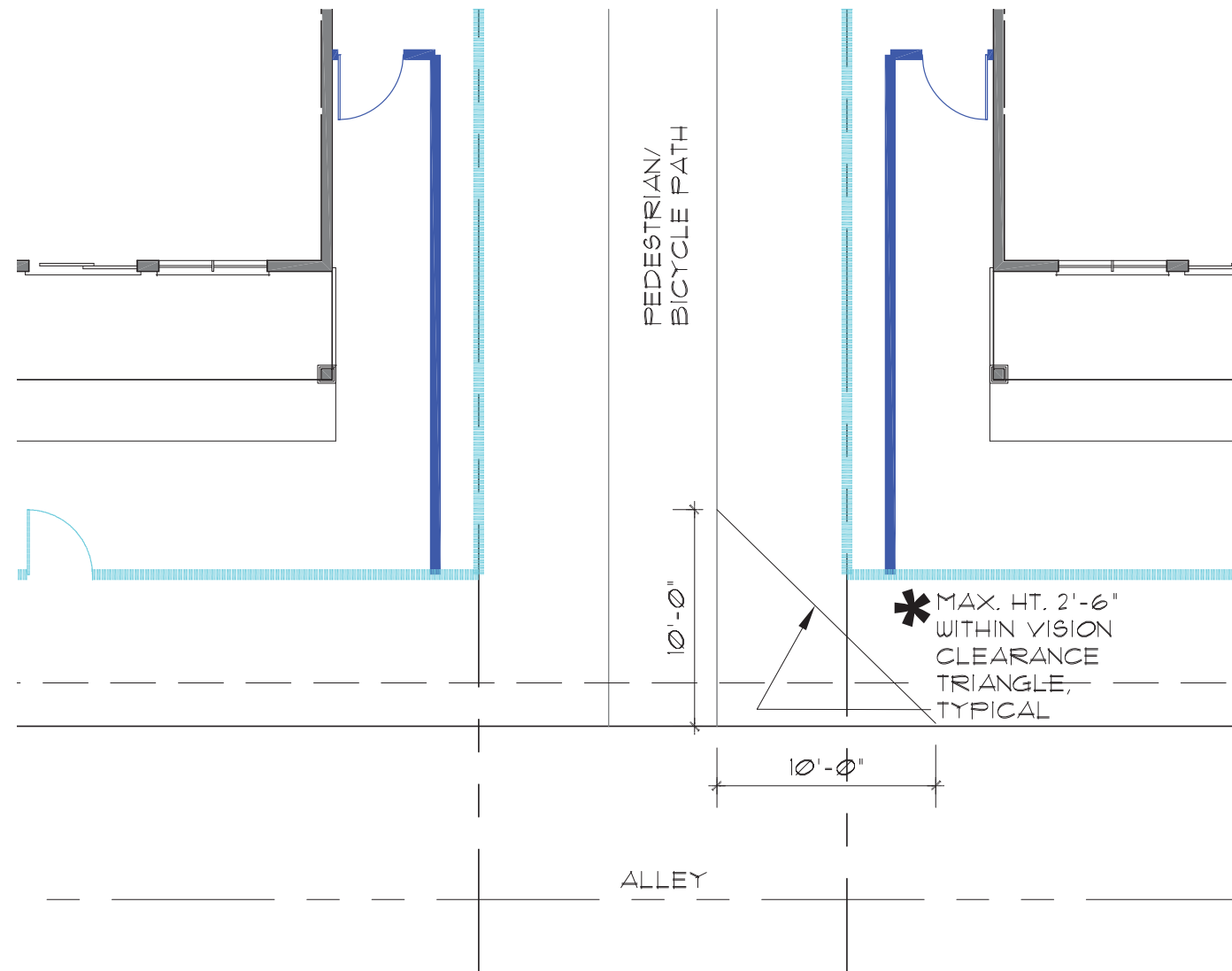
# NEIGHBORHOOD APARTMENTS



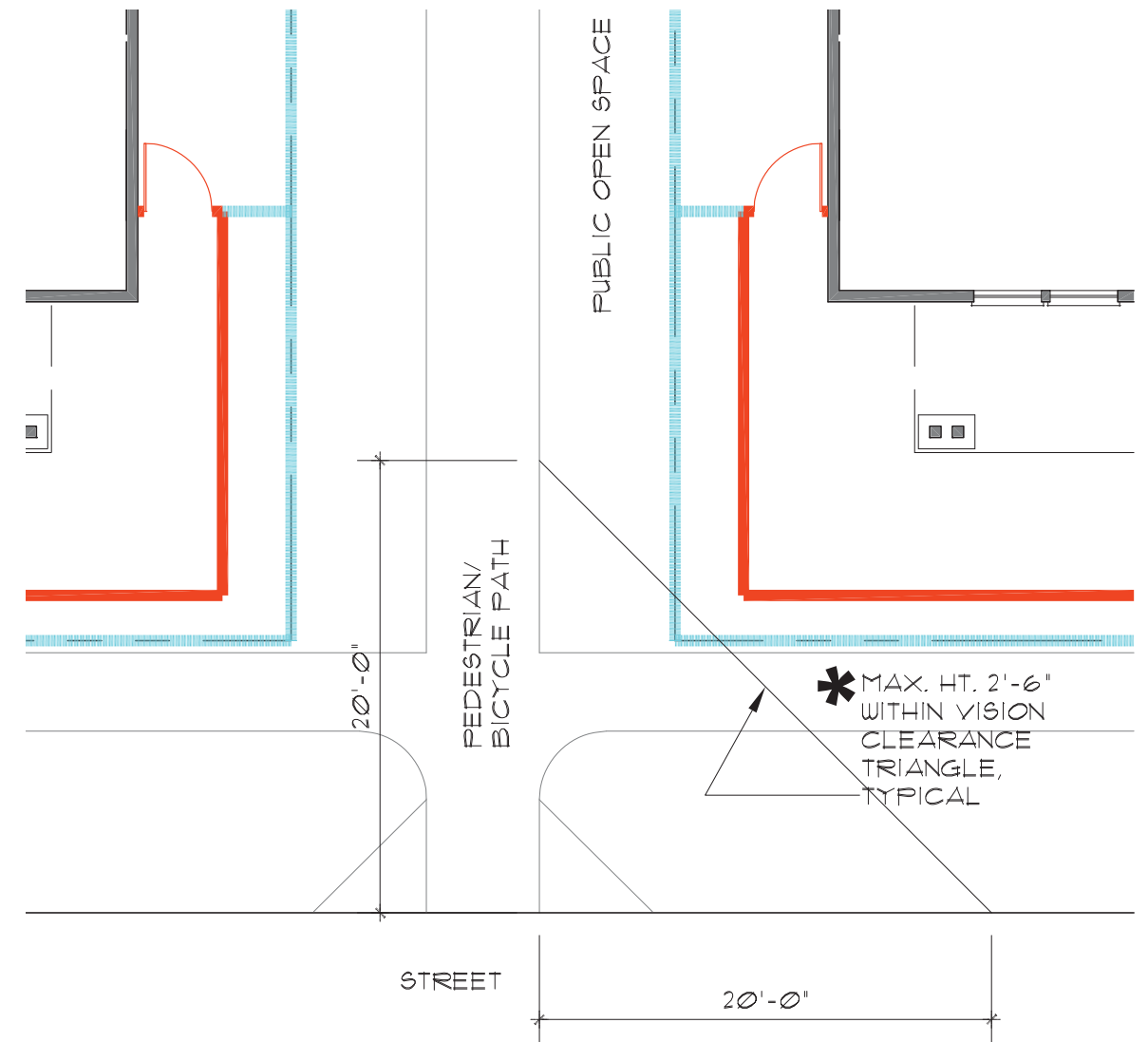
BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

## FENCING LOT DIAGRAMS





INTERSECTION WITH ALLEY



INTERSECTION WITH STREET

AT INTERSECTIONS OF PEDESTRIAN / BICYCLE PATHS WITH ALLEYS OR STREETS, THE VISION CLEARANCE TRIANGLE MUST BE MAINTAINED FROM THE EDGE OF THE PATH TO THE EDGE OF PAVING

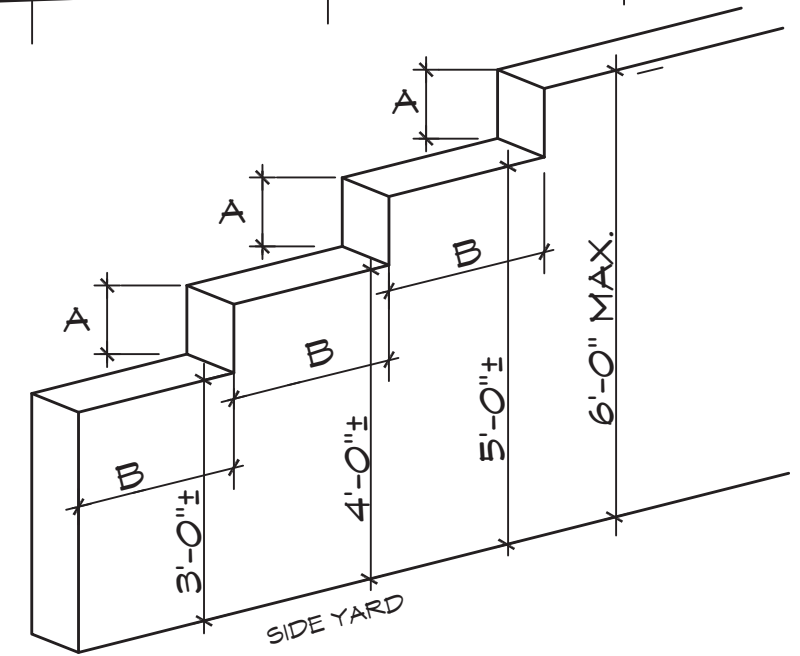
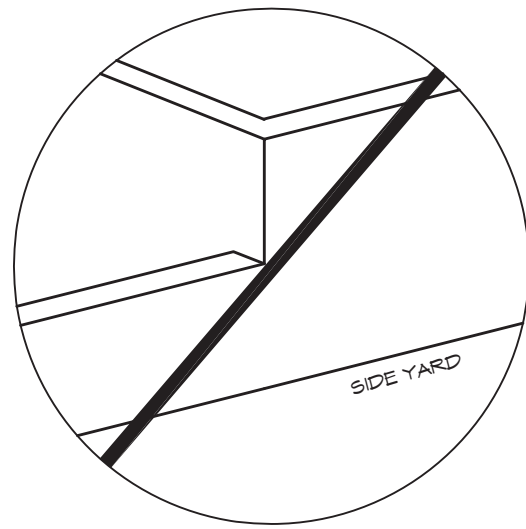
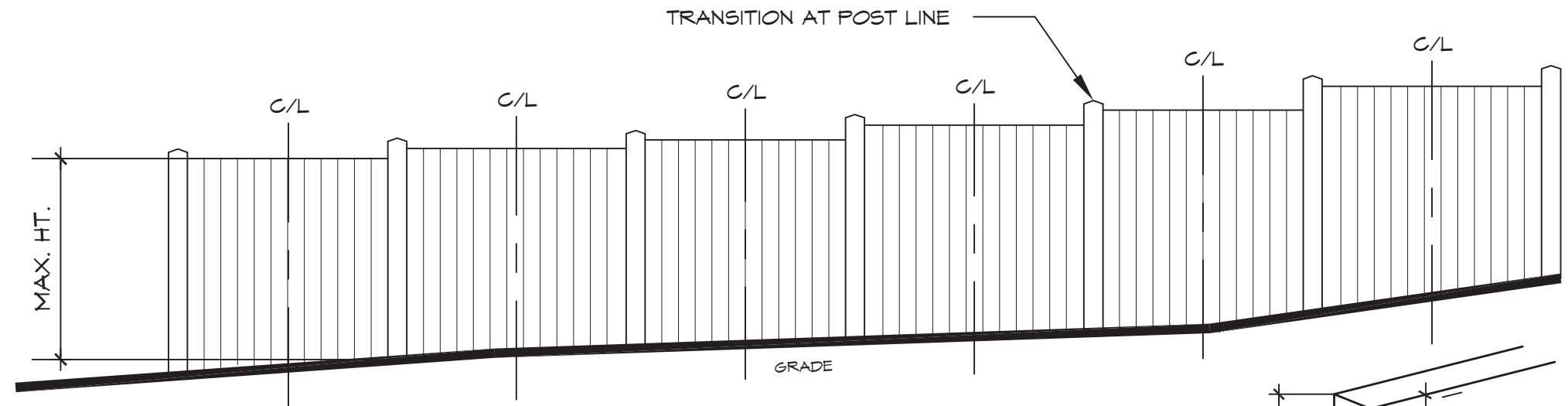


PEDESTRIAN & BICYCLE PATH

BUILDING FOOTPRINTS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE

FENCING  
LOT DIAGRAMS

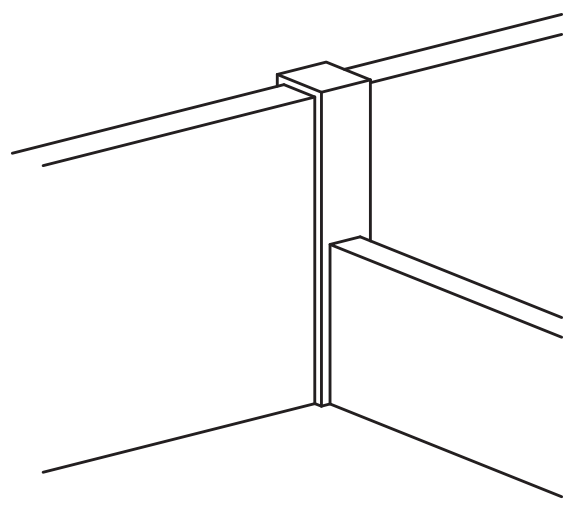




A = 12"-18"  
 B = 24" MIN.

NOTES:

1. FENCES AND WALLS MUST HAVE LEVEL TOP SURFACES, THEY MAY TRANSITION IN HEIGHT AT POSTS WHERE REQUIRED BY CHANGES IN GRADE TO MAINTAIN MAXIMUM HEIGHT. MAXIMUM HEIGHT AT THIS CONDITION TO BE MEASURED AT MIDPOINT BETWEEN POSTS ON THE SIDE WITH THE HIGHER GRADE.
2. FENCES AND WALLS MAY NOT TRANSITION IN HEIGHT AT CORNERS.
3. WHEN TRANSITIONING FROM TALLER BACK YARD FENCES/WALLS TO LOWER FRONT YARD FENCES/WALLS, HEIGHT TRANSITIONS MUST BE EQUAL. TRANSITIONS MUST OCCUR ALONG SIDE YARD FENCES/WALLS, NOT FRONT YARD FENCES/WALLS, EXCEPT FOR TRANSITIONS DUE TO CHANGES IN GRADE OR WHEN COMMUNITY MONUMENTATION TRANSITIONS TO A RESIDENTIAL FRONT YARD FENCE.
4. WHEN A 3' HIGH FRONT YARD FENCE ENDS PERPENDICULAR TO A 6' HIGH SIDE YARD FENCE, THE TRANSITION MUST OCCUR AT A POST OR COLUMN.



# HEIGHT TRANSITIONS

# CONSTRAINTS